

PROJECT DATA	PROJECT DATA	PROPERTY DATA	CONSTRUCTION DATA	ENERGY DATA	ENERGY DATA	VENTILATION DATA	TABLE OF CONTENTS
<p>OWNER Steve & Joanne Adams 8035 SE 45TH ST MERCER ISLAND 98040</p> <p>ARCHITECT PHONE: 206-355-9770 MCFADDEN DESIGN LLC 1914 5TH ST KIRKLAND, WA 98033 CONTACT: MICHAEL MCFADDEN MICHAEL@MCFADDENDSIGN.COM</p> <p>CONTRACTOR JOE MEYERS CONSTRUCTION INC. PHONE: 425-328-7849 CONTACT: JOE MEYERS LICENSE #: JOEMMYC951PP EIN/TAX ID: 81-0675182</p> <p>STRUCTURAL ENGINEER QUANTUM CONSULTING ENGINEERS 1511 THIRD AVENUE, SUITE 323 SEATTLE, WA 98101 206-957-3900 PHONE 206-957-3901 FAX CONTACT: MAX SKOTHEIM MSKOTHEIM@QUANTUMCE.COM</p>	<p>SURVEYOR TERRANE 10801 MAIN STREET, SUITE 102 BELLEVUE, WA 98004 CONTACT: DANA HALL E: DANA@TERRANE.NET</p>	<p>PROJECT ADDRESS 8035 SE 45TH ST MERCER ISLAND 98040</p> <p>LOT AREA 25,130 SF</p> <p>ASSESSOR'S TAX NUMBER 770010-0091</p> <p>LEGAL DESCRIPTION SEWARD ADD POR OF 16 THRU 19 LY W OF LN RING N 00-16-04 E 100 FT FR FT ON S LN OF 19 49.95 FT E OF SW COR TH S 89-43-56 W ALG S LN OF 17 0.25 FT M/L TO PT 81.10 FT E OF SW COR OF 17 TH N 00-16-04 E 101.28 FT M/L TO N LN OF 16 & POR 32 THRU 34 LY E OF LN BEG ON NLY LN OF LOT 34 S 28 FT W OF NE COR THOF TH S 27-09-40 W 24.75 FT TH ON CURVE TO LEFT RAD 144 FT DIST 110.75 FT TH S 16-54-20 E 35.79 FT TH S 64-59-11 E 68.47 FT TO LN LOT 32</p> <p>ZONING DESIGNATION R-15</p> <p>SETBACKS FRONT YARD: 20'-0"</p> <p>SIDE YARD DETERMINATION: MCC19.02.020 C; LOT WIDTH=90'=115.43' X 17% = 19.6' COMBINED MIN SIDE YARD = 19.6' X 33% = 6.5' EAST SIDE YARD = 7' WEST SIDE YARD = 12.6' REAR YARD: 25' SEE 1/A-1.2 FOR SETBACKS</p> <p>RESIDENCE HEIGHT LIMIT 30'-0" FEET FROM THE AVERAGE BUILDING ELEVATION; 30'-0" ON DOWNHILL SIDE FROM EXISTING OR FINISHED GRADE TO TOP PLATE OF ROOF, WITH ROOF RIDGE NOT EXCEEDING 30' ABOVE THE ABE. SEE 1/A-1.0 FOR AVERAGE BUILDING ELEVATION CALCULATIONS AND HEIGHT LIMIT DETERMINATION.</p> <p>LOT SLOPE HIGHEST ELEVATION POINT OF LOT = 204.1' LOWEST ELEVATION POINT OF LOT = 162.9' ELEVATION DIFFERENCE = 21.2' HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS = 140.3' LOT SLOPE : 21.2/140.3 = 15.1%</p> <p>LOT COVERAGE SEE 1/A-1.2 FOR LOT COVERAGE DIAGRAM</p>	<p>SCOPE OF WORK: WEST SIDE OF HOUSE WALLS REMOVED & REBUILT ON EXISTING FOUNDATION AND SLAB, WALLS TO REMAIN EAST OF ENTRY & NEW ROOF FOR HOUSE AND GARAGE.</p> <p>GROSS FLOOR AREA 10,000 S.F. OR 40% OF LOT AREA, WHICHEVER IS LESS NET LOT AREA = 25,130.0 S.F. X 40% ALLOWABLE GROSS FLOOR AREA = 10,052 S.F.</p> <p>GFA CALCULATION (MEASURED FROM EXTERIOR FACES OF BUILDING) LOWER FLOOR : 706 S.F. MAIN FLOOR : 3,981 S.F. GARAGE/SHOP : 1,283 S.F. TOTAL = 5,970 S.F.</p> <p>5,970 S.F. < 10,052 S.F. (THEREFORE GFA IS OK)</p>	<p>PROVIDE INSULATION SPECIFIED PER R402.2</p> <p>PROVIDE CONTINUOUS AIR BARRIER & THERMAL BARRIER PER TABLE R-402.4.1.1</p> <p>THE BUILDING ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE PER R402.4</p> <p>PROVIDE TESTING OF BUILDING ENVELOPE PER R402.4.1.2</p> <p>FENESTRATION AIR LEAKAGE TESTING FOR WINDOWS, SKYLIGHTS, AND SLIDING GLASS DOORS TO COMPLY PER R402.4.3</p> <p>RECESSED LIGHTING IN THE BUILDING THERMAL ENVELOPE TO COMPLY PER R402.4.4</p> <p>FENESTRATION TRADE OFFS PER SECTION R4-2.1.4 OR R405 NOT APPLICABLE</p> <p>PROVIDE MANDATORY CONTROLS OF CONDITIONING SYSTEMS PER SECTION R403</p> <p>BUILDING FRAMING CAVITIES PER R403.2.3 SHALL NOT BE USED AS DUCTS OR PLENUMS</p> <p>PROVIDE MECHANICAL PIPING INSULATION PER R403.3 MINIMUM R-6</p> <p>MECHANICAL DUCTS OUTSIDE OF THE THERMAL ENVELOPE SHALL BE INSULATED A MINIMUM OF R-8 PER SECTION R403.2.1</p> <p>MECHANICAL DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED AND TESTED PER R403.2.2</p> <p>JOINTS AND SEAMS TO COMPLY WITH ADOPTED IMC OR IRC</p> <p>CIRCULATING HOT WATER SYSTEMS SHALL BE PROVIDED WITH AN AUTOMATIC OR ACCESSIBLY MANUAL SHUT OFF SWITCH PER R403.4.1</p> <p>PROVIDE MINIMUM R-4 HOT WATER PIPE INSULATION PER R403.4.2</p> <p>INTERIOR VENTILATION PROVIDE INTERMITTENT WHOLE-HOUSE VENTILATION PER IRC M1507.3 AND 2012 WSEC SECTION R403.5</p> <p>SYSTEM FAN EFFICACY PER TABLE R403.5.1</p> <p>PROVIDE EQUIPMENT HEATING AND COOLING SIZING PER R403.6</p> <p>ELECTRICAL POWER AND LIGHTING SYSTEMS TO COMPLY WITH SECTION R404</p> <p>SIMULATED PERFORMANCE ALTERNATIVE PER SECTION R405 NOT APPLICABLE</p>	<p>2018 WSEC ENERGY CREDIT OPTIONS EACH DWELLING UNIT IN ONE AND TWO FAMILY DWELLINGS AND TOWNHOUSES, AS DEFINED IN SECTION 101.2 OF THE IRC SHALL COMPLY WITH SUFFICIENT OPTIONS FROM TABLE R406.2 SO AS TO ACHIEVE THE FOLLOWING MINIMUM # OF CREDITS.</p> <p>CATEGORY: MEDIUM DWELLING UNIT: 6 CREDITS.</p> <p>TABLE R406.2 ENERGY CREDITS SELECTED</p> <p>SYSTEM TYPE: 1 CREDITS: 0 COMBUSTION HEATING EQUIPMENT MEETING MINIMUM FEDERAL EFFICIENCY STANDARDS FOR THE EQUIPMENT LISTED IN TABLE C403.3.2(4) OR C403.3.2(5) OPTION 1.1 CREDITS: 0.5 PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH THE FOLLOWING MODIFICATIONS: VERTICAL FENESTRATION U = 0.24 OPTION 2.1 CREDITS: 0.5 COMPLIANCE BASED ON R402.4.1.2: REDUCE THE TESTED AIR LEAKAGE TO 3.0 AIR CHANGES PER HOUR MAXIMUM AT 50 PASCALS OR FOR R-2 OCCUPANCIES, OPTIONAL COMPLIANCE BASED ON SECTION R402.4.1.2: REDUCE THE TESTED AIR LEAKAGE TO 0.3 CFM/FT² MAXIMUM AT 50 PASCALS AND ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M1507.3 OF THE INTERNATIONAL RESIDENTIAL CODE OR SECTION 403.8 OF THE INTERNATIONAL MECHANICAL CODE SHALL BE MET WITH A HIGH EFFICIENCY FAN(S) (MAXIMUM 0.35 WATTS/CFM), NOT INTERLOCKED WITH THE FURNACE FAN (IF PRESENT). VENTILATION SYSTEMS USING A FURNACE INCLUDING AN ECM MOTOR ARE ALLOWED, PROVIDED THAT THEY ARE CONTROLLED TO OPERATE AT LOW SPEED IN VENTILATION ONLY MODE. OPTION 3.5 CREDITS: 1.5 AIR-SOURCE, CENTRALLY DUCTED HEAT PUMP WITH MINIMUM HSPF OF 11.0. OPTION 4.2 CREDITS: 1.0 HVAC EQUIPMENT AND ASSOCIATED DUCT SYSTEM(S) INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R403.3.7. LOCATING SYSTEM COMPONENTS IN CONDITIONED CRAWL SPACES IS NOT PERMITTED UNDER THIS OPTION. ELECTRIC RESISTANCE HEAT AND DUCTLESS HEAT PUMPS ARE NOT PERMITTED UNDER THIS OPTION. DIRECT COMBUSTION HEATING EQUIPMENT WITH AFUE LESS THAN 80% IS NOT PERMITTED UNDER THIS OPTION. OPTION 5.5 CREDITS: 2.0 WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING: ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION OPTION 7.1 CREDITS: 0.5 ALL OF THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL MEET THE FOLLOWING STANDARDS: DISHWASHER - ENERGY STAR RATED REFRIGERATOR (IF PROVIDED) - ENERGY STAR RATED WASH</p> <p>TOTAL CREDITS: 6.0</p>	<p>SYSTEM DESIGN THIS SYSTEM IS DESIGN/BUILD</p> <p>SYSTEM CRITERIA</p> <p>PER 2018 IRC TABLE M1507.3.3(1) CONTINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS: PROVIDE 135 CFM AIRFLOW.</p> <p>PER 2018 IRC TABLE M1507.3.3 (2) INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS, RUN TIME % IN EACH 4-HOUR SEGMENT TO BE 75% WITH A FACTOR OF 1.3: 135 CFM X 1.3 = 175.5 CFM</p> <p>PER 2018 IRC M1507.3.6.1 ALL HABITABLE SPACES SHALL RECEIVE FILTERED VENTILATION AIR.</p> <p>MINIMUM OF .35 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS. MAXIMUM OF .50 AIR EXCHANGES PER HOUR FOR ALL HABITABLE ROOMS.</p> <p>SYSTEM COMPONENTS TIMER INTAKE GRILL & DUCTING (FROM EXTERIOR) MOTORIZED DAMPER ELECTRIC AIR TEMPERING UNIT INTAKE BLOWER DISTRIBUTION DUCTING (HABITABLE ROOMS) DISTRIBUTION GRILLS (HABITABLE ROOMS) ELECTRIC EXHAUST FAN EXHAUST DUCTING EXHAUST PORT WITH BACK DRAFT DAMPER</p> <p>SYSTEM FUNCTION INTAKE BLOWER, AIR TEMPERING UNIT, AND EXHAUST FAN TO BE CONNECTED TO TIMER FOR SYNCHRONIZED, INTERMITTENT USE THROUGHOUT EACH DAY. FRESH AIR FROM THE EXTERIOR IS PULLED THROUGH AIR TEMPERING UNIT, THEN DISTRIBUTED THROUGH DUCTING TO ALL HABITABLE ROOMS. A BALANCED QUANTITY OF AIR IS SIMULTANEOUSLY EVACUATED FROM THE INTERIOR VIA THE EXHAUST FAN DUCTED TO THE EXTERIOR.</p>	<p>SHT DESCRIPTION</p> <p>SURVEY N/A</p> <p>ARCHITECTURAL</p> <p>A-1.0 PROJECT DATA COVERSHEET A-1.1 GENERAL NOTES A-1.2 SITE PLAN A-2.0 MAIN FLOOR & LOWER FLOOR DEMO PLAN A-2.1 MAIN FLOOR PLAN & LOWER FLOOR PLAN A-2.2 ROOF PLAN & DETAILS A-3.0 EXTERIOR ELEVATIONS A-3.1 EXTERIOR ELEVATIONS A-3.2 EXTERIOR ELEVATIONS A-4.0 BUILDING SECTION A-4.1 BUILDING SECTION A-4.2 BUILDING SECTION A-6.0 DOOR DIAGRAMS A-6.1 WINDOW DIAGRAMS A-6.2 WINDOW DIAGRAMS A-6.3 DOOR & WINDOW SCHEDULES</p> <p>STRUCTURAL</p> <p>S1.0 GENERAL STRUCTURAL NOTES S1.1 GENERAL STRUCTURAL NOTES S2.0 LOWER FLOOR FRAMING PLAN S2.1 MAIN FLOOR FRAMING PLAN S2.2 ROOF FRAMING PLAN S3.0 TYPICAL FOUNDATION/SLAB DETAILS S3.1 TYPICAL BASEMENT DETAILS S4.0 TYPICAL WOOD DETAILS S4.1 TYPICAL WOOD DETAILS S4.2 TYPICAL FLOOR DETAILS S4.3 TYPICAL TRUSS DETAILS S4.4 TYPICAL ROOF DETAILS S5.0 TYPICAL WOOD AND STEEL DETAILS</p>

All drawings, specifications, plans, ideas, arrangements, and designs represented or referred to are the property of and owned by McFadden Design LLC whether the project for which they are made is executed or not. They were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of McFadden Design LLC.

COPYRIGHT 2024
MCFADDEN DESIGN LLC

DESIGN	MM
DRAWN	JOB, TES
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
2024-05-01	REVISED PERMIT SET

REVISIONS	
REVISION 1	



1914 5th St.
Kirkland, WA 98003

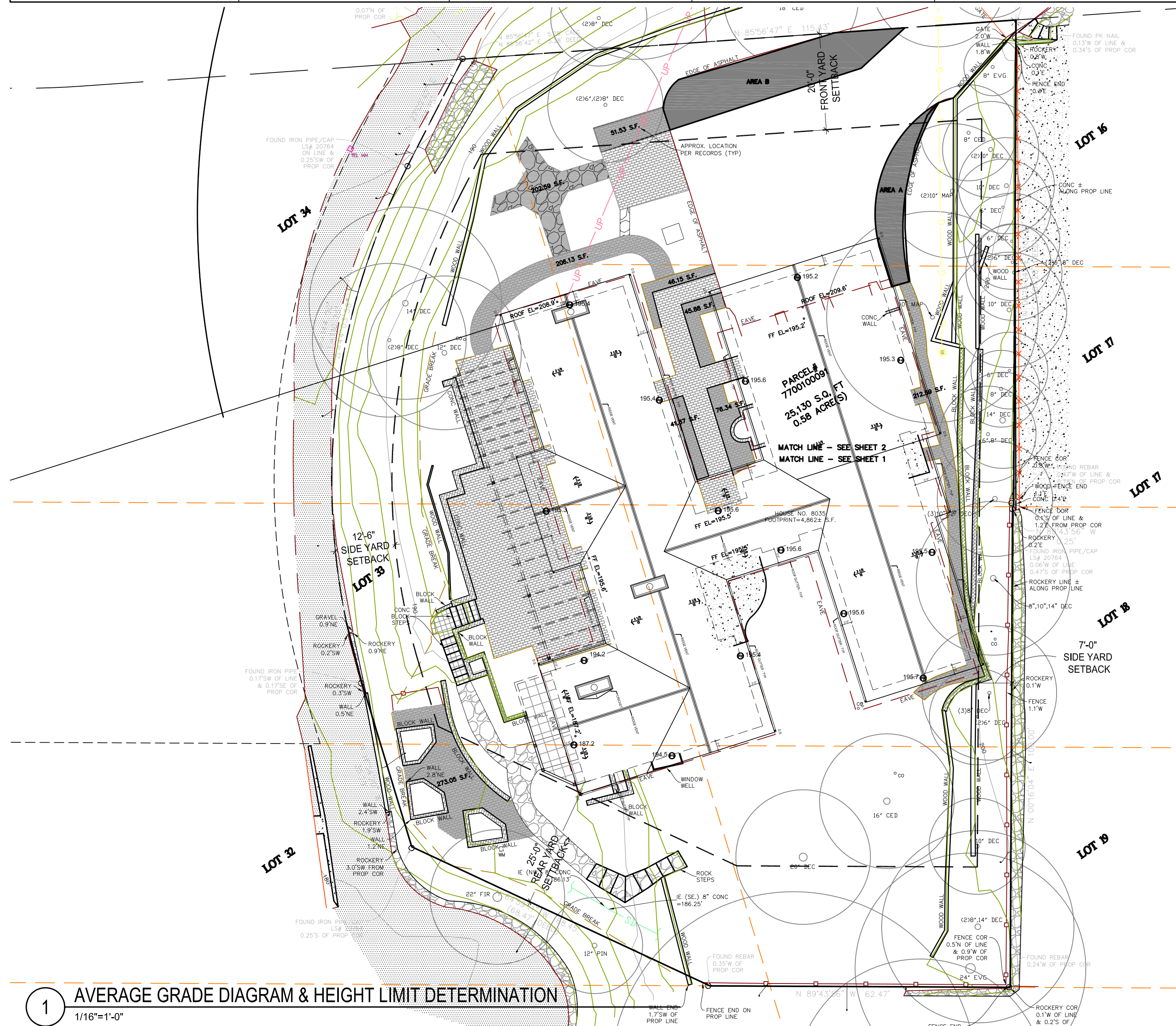
WWW.MCFADDENDSIGN.COM

ADAMS RESIDENCE

8035 SE 45TH ST
MERCER ISLAND 98040

PROJECT INFO
& ZONING DIAGRAMS

A-1.0

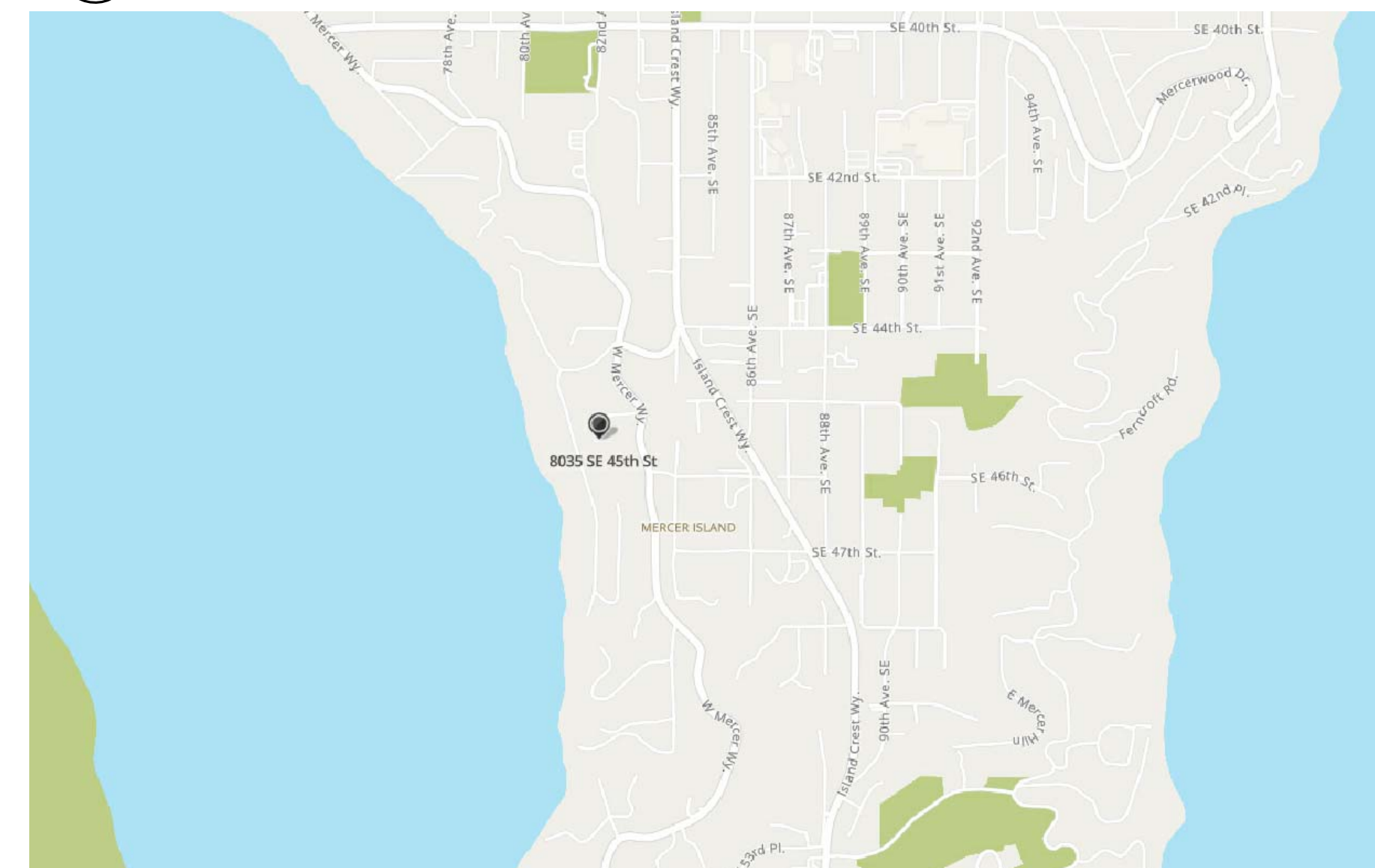


RELATED BUILDING CODES

2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2018 INTERNATIONAL FUEL GAS CODE (IFGC)
2018 UNIFORM PLUMBING CODE (UPC)
2018 INTERNATIONAL SWIMMING POOL & SPA CODE
2018 WASHINGTON STATE ENERGY CODE (WSEC)
2018 ICC/ANSI A117.1-08 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, WITH STATEWIDE AND LOCAL AMENDMENTS
2018 (IFC) INTERNATIONAL FIRE CODE



3 PATIO VIEW
NOT TO SCALE



2 VICINITY MAP
NOT TO SCALE

1 AVERAGE GRADE DIAGRAM & HEIGHT LIMIT DETERMINATION
1/16"=1'-0"

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE 2018 IRC WITH WASHINGTON AND CITY AMMENDMENTS.
- ALL APPLICABLE CODES, ORDINANCES AND MINIMUM STRUCTURAL REQUIREMENTS TAKE PRECEDENCE OVER ALL DRAWINGS, NOTES AND SPECIFICATIONS.
- DO NOT SCALE DRAWINGS; USE PRINTED DIMENSIONS ONLY. NOTIFY ARCHITECT OF ANY OMISSIONS OR DISCREPANCIES BEFORE PROCEEDING WITH WORK IN QUESTION.
- CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES IN CONTRACT DOCUMENTS OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND APPLICABLE CODES PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF/HERSELF WITH ALL ASPECTS OF THE WORK PRIOR TO CONTRACTING WITH THE OWNER TO PERFORM THE WORK.
- CONTRACTOR SHALL VERIFY CONFORMANCE OF ACTUAL SOIL CONDITIONS WITH SOILS REPORT AND DESIGN ASSUMPTIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS FOR THE WORK, EXCEPT FOR THE BUILDING PERMIT WHICH IS THE RESPONSIBILITY OF THE ARCHITECT.
- GUARANTEE ON ALL MATERIALS AND WORKMANSHIP TO BE (1) YEAR FROM DATE OF COMPLETION UNLESS NOTED OTHERWISE IN CONTRACT.
- REPETITIVE FEATURES MAY BE DRAWN ONLY ONCE, BUT SHALL BE PROVIDED AS IF DRAWN IN FULL. REPETITIVE NOTES MAY BE CALLED OUT ONLY ONCE AND INDICATED AS TYPICAL.
- DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE OR CENTERLINE OF INTERIOR COLUMNS UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES IN FRAMING PRIOR TO PROCEEDING WITH WORK.
- THIS PROJECT TO BE DESIGN-BUILD IN THE AREAS OF MECHANICAL, ELECTRICAL AND PLUMBING.

JOB SITE SAFETY

- THE ARCHITECT HAS NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATING TO THE CONTRACTOR'S SAFETY PRECAUTIONS.
- PERIODIC SITE VISITS PERFORMED BY THE ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION SAFETY PRECAUTIONS.
- THE ARCHITECT IS NOT RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR OR THE CONTRACTOR'S EMPLOYEES OR EMPLOYEES OF SUPPLIERS OR SUBCONTRACTORS, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL OR OCCUPANCY BY ANY PERSON.

SITE WORK

- ALL EXCAVATION AND FILL SHALL BE STORED AND PROTECTED SUCH AS TO PREVENT RUN OFF OF MATERIAL TO ADJACENT PROPERTIES.
- FOOTING DRAIN SHALL BE SEPARATE FROM ROOF AND IMPERVIOUS AREA DRAINS.
- DOWNSPOUT DRAIN SHALL BE 4" DIAMETER TIGHTLINE UNLESS NOTED OTHERWISE.
- FOOTING DRAIN SHALL BE 4" DIAMETER PERFORATED PIPE UNLESS NOTED OTHERWISE
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH REQUIRED SEPTIC AND/OR STORM WATER DETENTION SYSTEMS.

EARTH WORK

- EXTEND EXCAVATION DOWN TO UNDISTURBED SOIL OF THE SPECIFIED STRENGTH WITH A MINIMUM OF 18" BELOW LOWEST ADJACENT FINISH GRADE.
- COMPACTED FILL SHALL BE WELL GRADED AND GRANULAR WITH NOT MORE THAN 5% PASSING A 200 SIEVE. PLACE IN 8" LOOSE LIFTS AND COMPACT TO 95% MODIFIED AASHO DENSITY AT OPTIMUM MOISTURE CONTENT.
- BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.

ENERGY NOTES

- ALL WORK SHALL COMPLY WITH THE RESIDENTIAL PROVISIONS OF THE 2018 WASHINGTON STATE ENERGY CODE (WSEC).
- HEATING UNIT(S) SHALL MAINTAIN 70 DEGREES FAHRENHEIT AT 36" ABOVE FLOOR WHEN OUTSIDE TEMPERATURE IS 24 DEGREES FAHRENHEIT, OR CURRENT REQUIREMENTS.
- PROVIDE NIGHT SETBACK THERMOSTAT.
- CAULK ALL JOINTS AROUND EXTERIOR OPENINGS AND ALL JOINTS IN SIDING AND FLASHING WHERE INFILTRATION MAY BE POSSIBLE.
- SEAL ALL TEARS AND JOINTS IN INSULATION WITH APPROVED TAPE.
- SHOWER FLOW CONTROL SHALL BE LIMITED TO 2.5 GALLONS PER MINUTE, OR CURRENT REQUIREMENTS.
- ALL CRAWLSPACES SHALL HAVE A MINIMUM OF 6 MIL BLACK VISQUEEN GROUND COVER EXTENDED OVER THE TOP OF THE FOOTINGS. LAP ALL JOINTS 12" MINIMUM.
- FIREPLACE(S) SHALL HAVE TIGHT FITTING DAMPERS AND SHALL BE PROVIDED WITH A MINIMUM OF 6 SQUARE INCHES OF OUTSIDE COMBUSTIBLE AIR SUPPLY.
- METAL DUCTS OUTSIDE THE CONDITIONED SPACE SHALL BE INSULATED TO R-8 MINIMUM PER THE 2018 WSEC, SECTION R403.2.1. PROVIDE WEATHER BARRIER IF LOCATED ON THE EXTERIOR OF THE BUILDING.
- HOT WATER PIPES SHALL BE WRAPPED WITH INSULATION (R-4 MINIMUM) PER THE 2018 WSEC, SECTION R403.4.2.
- WATER HEATER(S) SHALL MEET 1987 NATIONAL APPLIANCE ENERGY CONSERVATION ACT.
- MINIMUM INSULATION VALUES UNLESS NOTED OTHERWISE:
 CEILING R-49 (1" clear vent space)
 CATHEDRAL CEILING R-38 (1" clear vent space)
 ABOVE GRADE WALL R-21
 BELOW GRADE WALL R-21 (Interior) w/ thermal break @ slab
 BELOW GRADE WALL R-10 (Exterior)
 FLOOR R-30
 SLAB ON GRADE R-10 (First 24")
 WINDOW AND DOOR HEADER R-10
- VAPOR RETARDER SHALL BE INSTALLED ON THE CONDITIONED ROOM SIDE OF THE INSULATION.
- BLOWER DOOR TESTING: AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES/HOUR, AND SHALL BE TESTED PER THE 2018 WSEC, SECTION R402.4.1.2. PROVIDE A WRITTEN REPORT OF THE TEST RESULTS, SIGNED BY THE TESTING PARTY, TO THE BUILDING INSPECTOR, PRIOR TO APPROVED FINAL INSPECTION.
- 75% MIN. OF LUMINAIRES TO BE HIGH EFFICACY LUMINARIES PER THE 2018 WSEC, SECTION R404.1.

VENTILATION NOTES

- VENTILATION AND EXHAUST SYSTEMS TO COMPLY WITH THE REQUIREMENTS OF CHAPTER 15 OF THE 2018 WASHINGTON RESIDENTIAL CODE (WRC).
- SOURCE SPECIFIC FANS SHALL BE LOCATED IN ALL KITCHENS, BATHROOMS, WATER CLOSETS, AND LAUNDRY FACILITIES IN COMPLIANCE WITH THE 2018 WRC, SECTION M1507.4 VENTILATION CAPACITY SHALL BE AT LEAST 50 C.F.M. FOR BATHROOMS, WATER CLOSETS, AND LAUNDRY ROOMS (Intermittent use) AND 100 C.F.M. FOR KITCHENS (INTERMITTENT USE). RANGE HOODS SHALL BE EXHAUSTED IN ACCORDANCE WITH SECTION M1503.
- CLOTHES DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH THE 2018 WRC, SECTION M1502. DUCT LENGTH SHALL NOT EXCEED 35 FEET, PLUS THE LENGTH OF THE TRANSITION DUCT, LESS THE EQUIVALENT LENGTH OF FITTINGS PER TABLE M1502.4.4.1.
- INTERMITTENT WHOLE HOUSE VENTILATION SYSTEM SHALL COMPLY WITH THE 2018 WRC, SECTION M1507.3. INTERMITTENT VENTILATION SHALL OCCUR AT LEAST 25% OF EACH 4-HOUR SEGMENT. VENTILATION RATE SHALL BE NOT LESS THAN AS SPECIFIED BY TABLE M1507.3.3(1), MULTIPLIED BY THE RATE FACTOR INDICATED ON TABLE M1507.3.3(2). FAN SHALL HAVE A SONE RATING OF 1.0 OR LESS MEASURED AT 0.1 INCHES WATER GAUGE. OUTDOOR AIR SHALL BE PROVIDED TO ALL HABITABLE ROOMS.
- EXHAUST DUCT WORK SHALL CONFORM TO THE 2018 WRC, CHAPTER 16. EXHAUST DUCTING TERMINATIONS SHALL BE OUTSIDE THE BUILDING. SHALL BE LOCATED IN COMPLIANCE WITH SECTION M1506.2, AND SHALL BE EQUIPPED WITH BACKDRAFT DAMPERS.
- SUPPLY DUCTS WITHIN CONDITIONED SPACE SHALL BE INSULATED TO A MINIMUM OF R-4.
- PROVIDE A MINIMUM NET AREA OF 1 SQUARE FOOT OF VENTILATION AREA FOR EACH 300 SQUARE FEET OF CRAWLSPACE AREA. PLACE OPENINGS AS NEAR AS TO CORNERS AS PRACTICABLE AND SHALL PROVIDE CROSS VENTILATION.
- ALL CRAWLSPACE VENTS SHALL BE PROVIDED WITH 1/4" NON-CORROSIVE WIRE MESH.
- PROVIDE A MINIMUM NET AREA OF 1 SQUARE FOOT OF VENTILATION AREA FOR EVERY 150 SQUARE FEET OF ATTIC AREA. PROVIDE A CONTINUOUS 1 INCH MINIMUM AIR SPACE ABOVE INSULATION FOR CROSS VENTILATION.
- ALL ATTIC VENTS SHALL BE PROVIDED WITH 1/4" NON-CORROSIVE WIRE MESH OR APPROVED SOFFIT VENTS.

MOISTURE PROTECTION

- PROVIDE PRESSURE TREATED PLATES BETWEEN CONCRETE AND FRAMING.
- PROVIDE A MINIMUM OF 12" CLEAR BETWEEN WOOD GIRDERS AND EARTH.
- PROVIDE A MINIMUM OF 18" CLEAR BETWEEN WOOD JOISTS AND EARTH.
- PROVIDE A MINIMUM OF 8" CLEAR BETWEEN WOOD POSTS AND EARTH.
- PROVIDE A MINIMUM OF 1" CLEAR BETWEEN WOOD POSTS AND CONCRETE FLOORS.
- CAULK ALL OPENINGS THOROUGHLY.
- FLASH ALL OPENINGS WITH A MINIMUM OF 26 GAUGE GALVANIZED STEEL TO ACCEPTABLE INDUSTRY STANDARDS.
- METAL COPING AT PARAPET TO BE A MINIMUM OF 22 GAUGE GALVANIZED STEEL.

FIRE PROTECTION

- THE GARAGE SHALL BE SEPERATED FROM THE RESIDENCE AND IT'S ATTIC BY NOT LESS THAN THE FOLLOWING:
 - NOT LESS THAN (1) LAYER OF 5/8" TYPE "X" GYPSUM WALLBOARD APPLIED TO ALL GARAGE WALLS. NOT LESS THAN (2) LAYERS OF 5/8" TYPE "X" GYPSUM WALLBOARD AT CEILINGS.
 - 1-3/8" MINIMUM THICK, SOLID CORE, OR HONEYCOMB CORE STEEL DOOR, OR A 20-MIN. FIRE-RATED DOOR.
 - DUCTS PIERCING FIRE SEPARATION TO BE A MINIMUM OF 26 GAUGE, AND HAVE NO OPENINGS INTO THE GROUP "U" OCCUPANCY.
- FIRE SEPARATION TO BE HORIZONTAL AND VERTICAL INCLUDING ALL STRUCTURAL MEMBERS SUPPORTING THE FIRE SEPARATION.
- ALL ENCLOSED USEABLE SPACE UNDER STAIRWAYS SHALL BE (1) LAYER OF 5/8" TYPE "X" GYPSUM WALLBOARD ON ENCLOSED SIDE.
- SMOKE DETECTORS SHALL BE HARD WIRED TO BUILDING POWER AND SHALL HAVE BATTERY BACKUP.
- SMOKE DETECTORS SHALL BE AUDIBLE IN ALL SLEEPING ROOMS, AND OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- A MINIMUM OF (1) SMOKE DETECTOR SHALL BE INSTALLED ON EACH FLOOR INCLUDING THE GARAGE.
- FIRESTOPPING AND DRAFTSTOPPING SHALL CONSIST OF 2" NOMINAL LUMBER.
- FIRESTOPPING AND DRAFTSTOPPING IS REQUIRED IN THE FOLLOWING PLACES:
 - CONCEALED SPACES AT ALL FLOOR AND CEILING LEVELS AND AT 10 FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
 - INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES (I.E., SOFFITS)
 - CONCEALED SPACES BETWEEN STAIR STRINGERS AT TOP AND BOTTOM OF THE RUN.
- ROCK WOOL AROUND ALL OPENINGS FOR VENTS, PIPES, DUCTS, ETC.
- EMERGENCY EGRESS WINDOWS SHALL MEET THE FOLLOWING REQUIREMENTS:
 CLEAR OPEN WIDTH 20" (Minimum)
 CLEAR OPEN HEIGHT 24" (Minimum)
 CLEAR OPEN AREA 5.7 s.f. (Minimum)
 SILL HEIGHT 44" (Maximum)

SHOP DRAWINGS

- SHOP DRAWINGS ARE REVIEWED FOR DESIGN INTENT ONLY.
- THE CONTRACTOR IS TO REVIEW AND APPROVE ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO ARCHITECT OR STRUCTURAL ENGINEER.
- SEE STRUCTURAL NOTES AND PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND CLARIFICATIONS REGARDING SHOP DRAWINGS.

SAFETY AND SECURITY

- DEADBOLTS WITH A MINIMUM THROW OF 1/2" AND A VIEWPORT ARE REQUIRED AT ALL EXTERIOR DOORS.
- DEADBOLTS OR APPROVED LOCKING DEVICES ARE REQUIRED ON ALL SLIDING DOORS.
- ALL LOCKS SHALL BE OPENABLE WITHOUT ANY SPECIAL KNOWLEDGE OR EFFORT.
- WINDOWS WITHIN 10'-0" OF FINISHED GRADE SHALL BE PROVIDED WITH LATCHING DEVICES.
- STAIRWAYS SHALL MEET THE FOLLOWING REQUIREMENTS:
 OCCUPANCIES LESS THAN 10
 STAIR WIDTH 36" (Minimum)
 TREAD WIDTH 10" (Minimum), 6" Minimum for Winders
 RISER HEIGHT 7 3/4" (Maximum)
 HEADROOM 80" (Minimum)
 HANDRAIL HEIGHT 34" to 38" above nosing
 HANDRAIL GRASP 1-1/4"(Min) to 2" (Max)
- HANDRAIL INTERMEDIATE MEMBERS SHALL BE CONFIGURED AS TO PROHIBIT PASSING A 4" DIAMETER SPHERE THROUGH ANY OPENING.
- GUARDRAILS SHALL BE A MINIMUM OF 36" ABOVE FINISH FLOOR.
- GUARDRAIL INTERMEDIATE MEMBERS SHALL BE CONFIGURED AS TO PROHIBIT PASSING A 4" DIAMETER SPHERE THROUGH ANY OPENING.

NATURAL LIGHT

- PER WA AMMENDMENT TO IRC 303.1: ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS.
 EXCEPTION : THE GLAZED AREAS NEED NOT BE INSTALLED IN ROOMS WHERE ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOTCANDLES (65 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" (762 MM) ABOVE THE FLOOR LEVEL.

GLAZING NOTES

- ALL GLAZING SHALL BE (2) PANE INSULATED GLASS OR BETTER UNLESS NOTED OTHERWISE.
- SLIDING DOORS SHALL BE SAFETY GLASS, LAMINATED GLASS, OR TEMPERED GLASS.
- SHOWER DOORS AND ENCLOSURES SHALL BE SAFETY GLASS, LAMINATED GLASS, OR TEMPERED GLASS.
- REFER TO WINDOW SCHEDULE FOR ADDITIONAL REQUIREMENTS.

BATHROOM NOTES

- WALL COVERINGS IN SHOWERS SHALL BE MOISTURE RESISTANT MATERIAL TO 72" (Minimum) ABOVE DRAIN INLET.
- TOILET SHALL HAVE CLEAR SPACE OF 30" WIDE (Minimum) AND 24" CLEAR (Minimum) IN FRONT OF STOOL.

DRAWING LEGEND		
SYMBOL	DESCRIPTION	REMARKS
	WINDOW SYMBOL	See Window Schedule
	DOOR SYMBOL	See Door Schedule
	SPACE NUMBER	See Finish Schedule
	GRID LINE	
	MATCH LINE	
	VERTICAL DATUM POINT	
	SURFACE MATERIAL CHANGE	
	DETAIL REFERENCE	
	SECTION CUT REFERENCE	
	INTERIOR ELEVATION REFERENCE	See Interior Elevations

MATERIAL SYMBOL LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EARTH / COMPACT FILL		ROUGH WOOD FRAMING
	GRAVEL / POROUS FILL		WOOD BLOCKING
	CONCRETE		PLYWOOD
	CMU / BRICK / STONE VENEER		FINISH WOOD
	GYPSUM WALL BOARD / PLASTER		BATT INSULATION
	STEEL OR OTHER METALS		RIGID INSULATION
	NATURAL STONE		

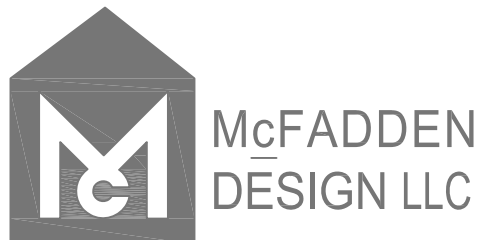
ABBREVIATION LIST

AB	ANCHOR BOLT	JST	JOIST
ABV	ABOVE	JT	JOINT
AC	AIR CONDITIONING	KD	KILN DRIED
ACT	ACUSTICAL TILE	LAM	LAMINATED
AD	AREA DRAIN	LB	POUNDS
ADDT	ADDITIONAL	LF	LINEAL FOOT
ADJ	ADJUSTABLE	LH	LEFT HAND
AFF	ABOVE FINISH FLOOR	LL	LIVE LOAD
AGG	AGGREGATE	LT	LIGHT
ALT	ALTERNATE	LTG	LIGHTING
ALUM	ALUMINUM	MATL	MATERIAL
APPR	APPROXIMATE	MAX	MAXIMUM
ARCH	ARCHITECT/ARCHITECTURAL	MB	MACHINE BOLT
ASPH	ASPHALT	MC	MEDICINE CABINET
BD	BOARD	MECH	MECHANICAL
BEL	BELOW	MEMB	MEMBRANE
BLDG	BUILDING	MFR	MANUFACTURER
BLK	BLOCKING	MILP	MAKE IT LOOK PRETTY
BM	BEAM	MIN	MINIMUM
BO	BY OTHERS	MIR	MIRROR
BOF	BOTTOM OF FOOTING	MISC	MISCELLANEOUS
BOT	BOTTOM	MTL	METAL
BOW	BOTTOM OF WALL	N	NORTH
BRG	BEARING	NA	NOT APPLICABLE
BSMT	BASEMENT	NIC	NOT IN CONTRACT
BTB	BURY THE BODIES	NO	NUMBER
BTWN	BETWEEN	NOM	NOMINAL
BUR	BUILT UP ROOFING	NTS	NOT TO SCALE
CAB	CABINET	O/	OVER
CAP	CAPACITY	OBSC	OBSCURE
CATV	CABLE TELEVISION	OC	ON CENTER
CB	CATCH BASIN	OD	OUTSIDE DIAMETER
CIP	CAST IN PLACE	OD	OVERFLOW DRAIN
CL	CONTROL JOINT	OH	OVERHEAD
CLG	CEILING	OPNG	OPENING
CLKG	CAULKING	OPP	OPPOSITE
CLR	CLEAR	PBD	PARTICLE BOARD
CMU	CONCRETE MASONRY UNIT	PERF	PERFORATED
CNTR	CENTER	PERP	PERPENDICULAR
CO	CLEAN OUT	PH	PAPER HOLDER
COL	COLUMN	PL	PLATE
CONC	CONCRETE	PL	PROPERTY LINE
CONST	CONSTRUCTION	PLAM	PLASTIC LAMINATE
CONT	CONTINUOUS	PLYWD	PLYWOOD
CONTR	CONTRACTOR	POL	POLISHED
OPT	CARPET	PR	PAIR
CRV	CONTINUOUS RIDGE VENT	PSF	POUNDS PER SQUARE FOOT
CRW	CONCRETE RETAINING WALL	PSI	POUNDS PER SQUARE INCH
CSMT	CASEMENT	PT	PRESSURE TREATED
CT	CERAMIC TILE	PTD	PAINTED
CY	CUBIC YARD	QT	QUARRY TILE
d	PENNY	QTY	QUANTITY
D	DEEP	R	RADIUS
D	DRYER	R	RISER
DAFD	DONT ASK FOR DETAIL	RD	ROOF DRAIN
DBL	DOUBLE	REF	REFRIGERATOR
DCU	DONT CALL US	REINFC	REINFORCING
DIA	DIAMETER	REQD	REQUIRED
DIAG	DIAGONAL	RH	RIGHT HAND
DIM	DIMENSION	RJ	ROOF JACK/VENT
DN	DOWN	RM	ROOM
DR	DOOR	RO	ROUGH OPENING
DS	DOWNSPOUT (EXTERIOR)	RV	RIDGE VENT
DTL	DETAIL	S	SOUTH
DW	DISHWASHER	SB	SETBACK
DWG	DRAWING	SB	SAND BLAST
DWR	DRAWER	SC	SOLID CORE
E	EAST	SCHED	SCHEDULE
EA	EACH	SF	SQUARE FOOT
EJ	EXPANSION JOINT	SHMTL	SHEET METAL
EL	ELEVATION	SHTHG	SHATHING
ELEC	ELECTRIC	SIM	SIMILAR
ELEV	ELEVATION	SPECS	SPECIFICATIONS
ENCL	ENCLOSURE	SQ	SQUARE
ENG	ENGINEER	SS	STAINLESS
EO	EQUAL	SS STL	STAINLESS STEEL
EQUIP	EQUIPMENT	STD	STANDARD
EW	EACH WAY	STL	STEEL
EXIST	EXISTING	STOR	STORAGE
EXT	EXTERIOR	STRUC	STRUCTURAL
FB	FLAT BAR	SV	SOFFIT VENT
FD	FLOOR DRAIN	SYM	SYMBOL
FF	FINISH FLOOR	T	TREAD
FIN	FINISH	TEL	TELEPHONE
FLASH	FLASHING	TEMP	TEMPERED
FLR	FLOOR	TEMP	TEMPERATURE
FLUOR	FLUORESCENT	T&G	TONGUE AND GROOVE
FND	FOUNDATION	THK	THICK
FOC	FACE OF CONCRETE	TO	TOP OF
FOF	FACE OF FINISH	TOP	TOP OF PLATE
FOS	FACE OF STUD	TOS	TOP OF SLAB
FRMG	FRAMING	TOW	TOP OF WALL
FT	FOOTFEET	TV	TELEVISION
FTG	FOOTING	TW	TRAIN WRECK
GA	GAUGE	TYP	TYPICAL
GAL	GALLON	UBC	UNIFORM BUILDING CODE
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GFI	GROUND FAULT INTERRUPTER	VCT	VINYL COMPOSITION TILE
GL	GLASS	VER	VERIFY
GLB	GLU-LAMINATED BEAM	VERT	VERTICAL
GR	GRADE	VG	VERTICAL GRAIN
GWB	GYPSUM WALL BOARD	W	WEST
GYP	GYPSUM	W	WATT
H	HEIGHT	W	WIDTH
HB	HOSE BIBB	W/	WITH
HC	HOLLOW CORE	W/O	WITHOUT
HD	HEAVY DUTY	WRB	WATER RESISTANT BARRIER
HDR	HEADER	WD	WOOD
HDWR	HARDWOOD	WP	WATERPROOF
HDWR	HARDWARE	WR	WATER RESISTANT
HGR	HANGER	WS	WOOD SCREW
HRZ	HORIZONTAL	WT	WEIGHT
HR	HOUR	WMM	WELDED WIRE MESH
HT	HEIGHT	YD	YARD
HWT	HOT WATER TANK		
ID	INSIDE DIAMETER		
IDS	INTERIOR DOWNSPOUT		
IN	INCH		
INSUL	INSULATION		
INT	INTERIOR		

All drawings, specifications, plans, ideas, arrangements, and designs represented or referred to are the property of and owned by McFadden Design LLC whether the project for which they are made is executed or not. They were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of McFadden Design LLC.

COPYRIGHT 2024
 McFADDEN DESIGN LLC

DESIGN	MM
DRAWN	MM
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
2024-05-01	REVISED PERMIT SET
REVISIONS	
	REVISION 1



1914 5th st.
 Kirkland, WA 98003

WWW.MCFADDENDESIGN.COM

ADAMS RESIDENCE

8035 SE 45TH ST
 MERCER ISLAND 98040

GENERAL NOTES

LEGAL DESCRIPTION

(PER STATUTORY WARRANTY DEED RECORDING #20210222003556)
 THAT PORTION OF LOTS 16 THROUGH 19 AND LOTS 32 THROUGH 34, SEWARD ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 24 OF PLATS, PAGE 26, IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE NORTHERLY LINE OF SAID LOT 34 WHICH BEARS SOUTH 85°56'42" WEST 5.28 FEET FROM THE NORTHEAST CORNER THEREOF;
 THENCE SOUTH 27°09'40" WEST 24.75 FEET;
 THENCE ON A CURVE TO THE LEFT HAVING A RADIUS OF 144 FEET A DISTANCE OF 110.75 FEET;
 THENCE SOUTH 16°54'20" EAST 35.79 FEET;
 THENCE SOUTH 64°59'11" EAST 68.47 FEET TO THE SOUTH LINE OF SAID LOT 32;
 THENCE SOUTH 89°43'57" EAST, ALONG THE SOUTH LINE, 12.50 FEET TO THE SOUTHEAST CORNER OF SAID LOT 32;
 THENCE CONTINUING ON THE SOUTH LINE OF LOT 19, SOUTH 89°43'56" EAST 49.95 FEET;
 THENCE NORTH 00°16'04" EAST 100 FEET TO THE SOUTH LINE OF LOT 17;
 THENCE SOUTH 89°43'56" EAST, ALONG THE SOUTH LINE OF LOT 17, 0.25 FEET, MORE OR LESS, TO A POINT WHICH IS SOUTH 89°43'56" EAST 81.10 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 17;
 THENCE NORTH 00°16'04" EAST 101.28 FEET TO THE NORTH LINE OF SAID LOT 16;
 THENCE WESTERLY, ALONG THE NORTH LINE OF SAID LOTS 16 AND 34, SOUTH 85°56'42" WEST 115.43 FEET TO THE POINT OF BEGINNING.
 SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

N 16°54'20" W BETWEEN FOUND CENTERLINE MONUMENTATION ALONG FOREST AVE SE PER R1

REFERENCES

- R1. SEWARD ADDITION PLAT, VOL. 24, PG. 26, RECORDS OF KING COUNTY, WASHINGTON.
- R2. RECORD OF SURVEY, VOL. 52, PG. 180, RECORDS OF KING COUNTY, WASHINGTON.
- R3. RECORD OF SURVEY, VOL. 114, PG. 62, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

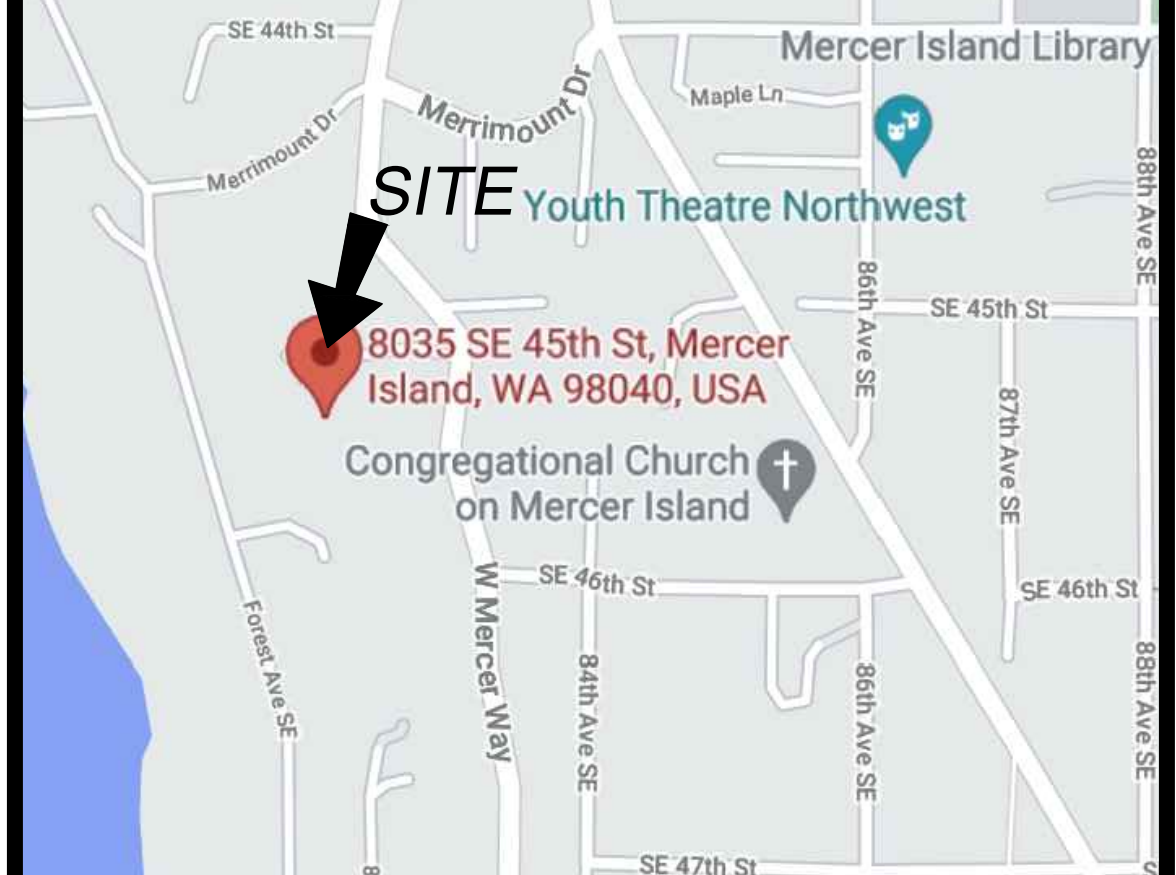
NAVD88 PER GPS OBSERVATIONS

SURVEYOR'S NOTES

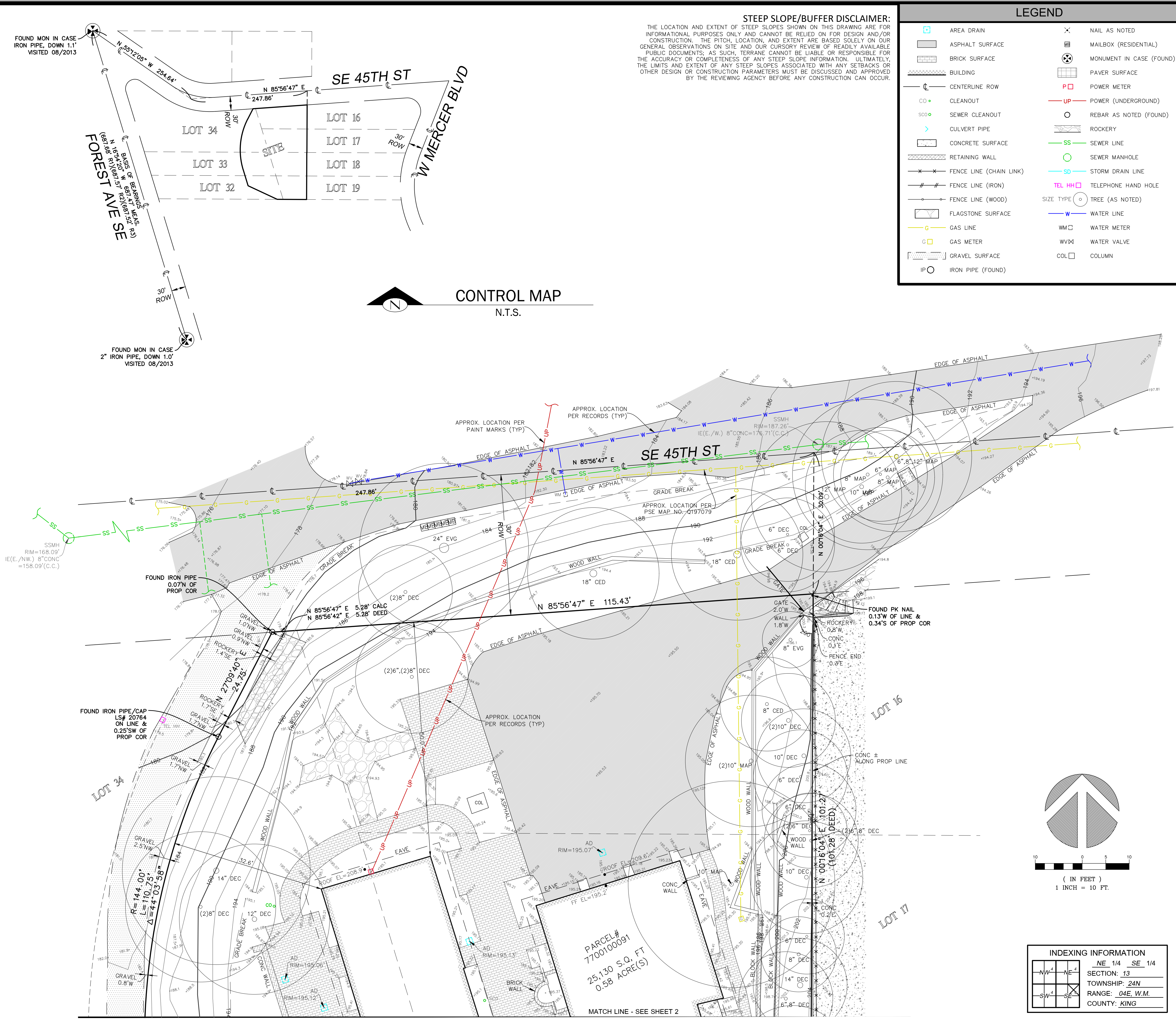
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JULY OF 2022. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 7700100091.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 25,130± S.F. (0.58 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

VICINITY MAP

N.T.S.



TOPOGRAPHIC & BOUNDARY SURVEY



STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

LEGEND

AREA DRAIN	NAIL AS NOTED
ASPHALT SURFACE	MAILBOX (RESIDENTIAL)
BRICK SURFACE	MONUMENT IN CASE (FOUND)
BUILDING	PAVER SURFACE
CENTERLINE ROW	POWER METER
CLEANOUT	POWER (UNDERGROUND)
SEWER CLEANOUT	REBAR AS NOTED (FOUND)
CULVERT PIPE	ROCKERY
CONCRETE SURFACE	SEWER LINE
RETAINING WALL	SEWER MANHOLE
FENCE LINE (CHAIN LINK)	STORM DRAIN LINE
FENCE LINE (IRON)	TELEPHONE HAND HOLE
FENCE LINE (WOOD)	TREE (AS NOTED)
FLAGSTONE SURFACE	WATER LINE
GAS LINE	WATER METER
GAS METER	WATER VALVE
GRAVEL SURFACE	COLUMN
IRON PIPE (FOUND)	

measure success

TOPOGRAPHIC & BOUNDARY SURVEY
 PARCEL NO. 7700100091
ADAM RESIDENCE
 8035 SE 45TH ST
 MERCER ISLAND, WA 98040



Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4488 support@terrane.net
 www.terrane.net

JOB NUMBER: 211187
 DATE: 07/14/21
 DRAFTED BY: RSN
 CHECKED BY: JGM/CSP
 SCALE: 1" = 10'

REVISION HISTORY	

SHEET NUMBER
 1 OF 2

INDEXING INFORMATION

NE 1/4	SE 1/4
NW 1/4	SW 1/4

SECTION: 13
 TOWNSHIP: 24N
 RANGE: 04E, W.M.
 COUNTY: KING

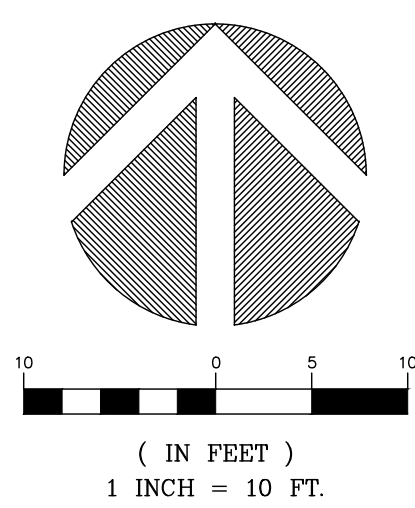
TOPOGRAPHIC & BOUNDARY SURVEY

LEGEND

	AREA DRAIN		NAIL AS NOTED
	ASPHALT SURFACE		MAILBOX (RESIDENTIAL)
	BRICK SURFACE		MONUMENT IN CASE (FOUND)
	BUILDING		PAVER SURFACE
	CENTERLINE ROW		POWER METER
	CLEANOUT		POWER (UNDERGROUND)
	SEWER CLEANOUT		REBAR AS NOTED (FOUND)
	CULVERT PIPE		ROCKERY
	CONCRETE SURFACE		SEWER LINE
	RETAINING WALL		SEWER MANHOLE
	FENCE LINE (CHAIN LINK)		STORM DRAIN LINE
	FENCE LINE (IRON)		TELEPHONE HAND HOLE
	FENCE LINE (WOOD)		TREE (AS NOTED)
	FLAGSTONE SURFACE		WATER LINE
	GAS LINE		WATER METER
	GAS METER		WATER VALVE
	GRAVEL SURFACE		COLUMN
	IRON PIPE (FOUND)		

STEEP SLOPE/BUFFER DISCLAIMER:

THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

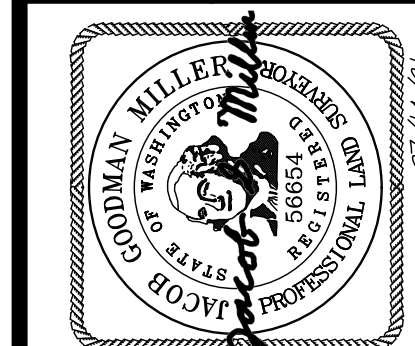


INDEXING INFORMATION			
NE	1/4	SE	1/4
NW	1/4	SE	1/4
SECTION: 13			
TOWNSHIP: 24N			
RANGE: 04E, W.M.			
COUNTY: KING			

TOPOGRAPHIC & BOUNDARY SURVEY

PARCEL NO. 7700100091

ADAM RESIDENCE
8035 SE 45TH ST
MERCER ISLAND, WA 98040



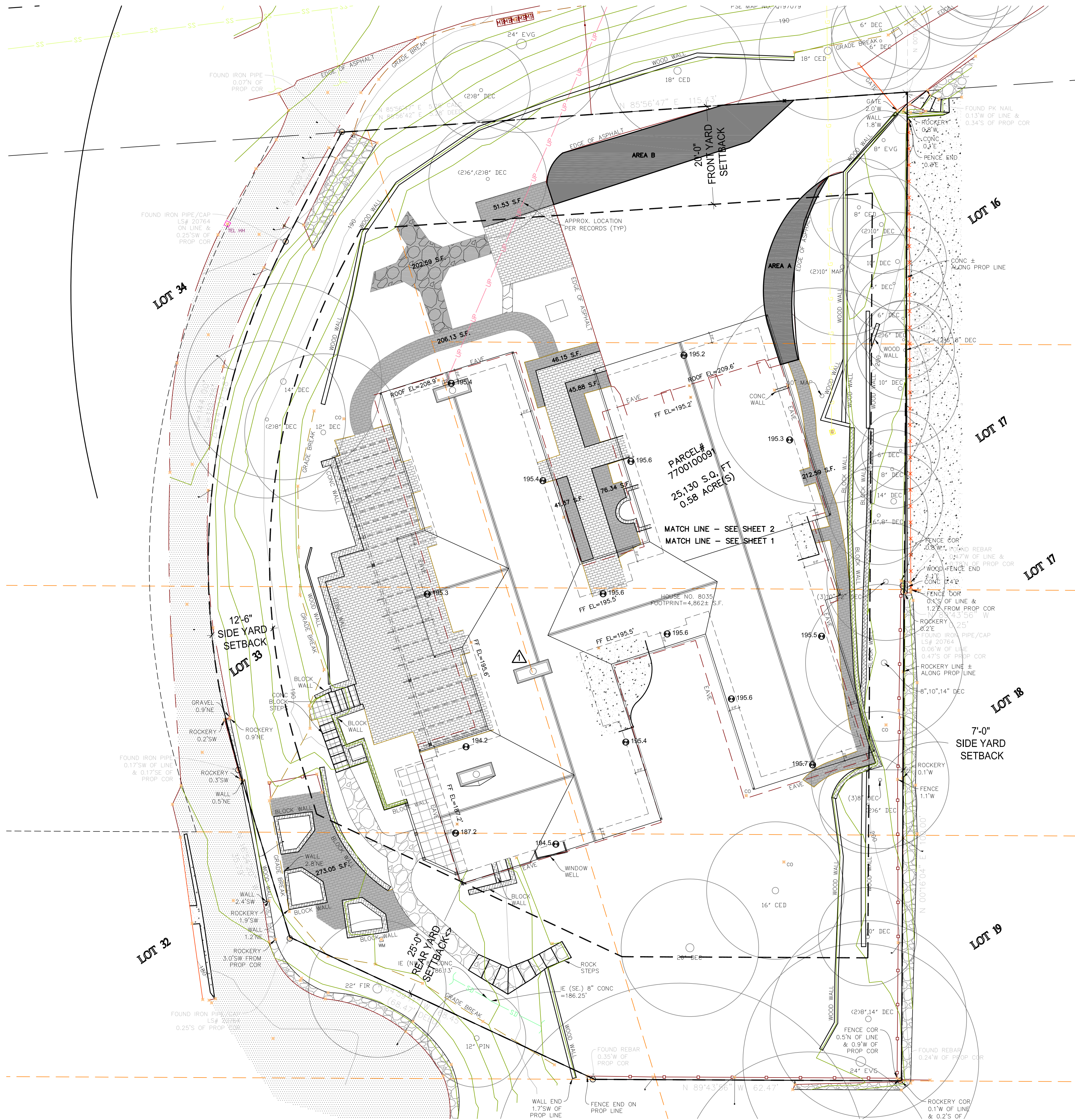
Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

JOB NUMBER:	211187
DATE:	07/14/21
DRAFTED BY:	RSN
CHECKED BY:	JGM/CSP
SCALE:	1" = 10'

REVISION HISTORY	

SHEET NUMBER
2 OF 2

measure success



AVERAGE BUILDING ELEVATION CALCULATION

$$ABE = \frac{(24.2 \times 195.4) + (76.3 \times 195.3) + (13.6 \times 194.2) + (19.7 \times 187.2) + (37.6 \times 194.5) + (35.4 \times 195.4) + (23.2 \times 195.6) + (35.3 \times 195.6) + (21.3 \times 195.7) + (49 \times 195.5) + (30.7 \times 195.3) + (32 \times 195.2) + (29.5 \times 195.6) + (18.5 \times 195.6) + (50 \times 195.4)}{24.2 + 76.3 + 13.6 + 19.7 + 37.6 + 35.4 + 23.2 + 35.3 + 21.3 + 49 + 30.7 + 32 + 29.5 + 18.5 + 50} = 195.0'$$

MAXIMUM BUILDING HEIGHT = 30' ABOVE A.B.E.
 MAXIMUM BUILDING ELEVATION = 195.0' + 30' = 225'

NOTE:
 CONTRACTOR TO VERIFY
 OVERHANGS AND SETBACKS.

LOT COVERAGE CALCULATION:

LOT AREA = 25,130 SF
 ALLOWABLE LOT COVERAGE = 35%
 ALLOWABLE LOT COVERAGE AREA = 8,796 SF
 EXISTING LOT COVERAGE
 6,303 SF (MAIN STRUCTURE) + 2,690 SF (DRIVEWAY) = 8,993 SF
 TOTAL LOT COVERAGE TO BE REMOVED = 4,153 SF
 NEW LOT COVERAGE
 3,770 SF (MAIN STRUCTURE) = 3,770 SF
 TOTAL PROJECT LOT COVERAGE AREA = (8,993 SF - 4,153 SF) + 3,770 SF = 8,610 SF
 TOTAL LOT COVERAGE AREA = 8,610 SF / 25,130 SF = 34.3%
 EXCESS LOT COVERAGE = 186 SF (TO BE USED FOR HARDSCAPE)

LOT SLOPE CALCULATION:

HIGHEST ELEVATION POINT: 204.1 FEET
 LOWEST ELEVATION POINT: 182.9 FEET
 ELEVATION DIFFERENCE: 204.1 - 182.9 = 21.2 FEET
 HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS: 140.3 FEET
 LOT SLOPE: (21.2 FEET / 140.3 FEET) * 100 = 15.1%

HARDSCAPE COVERAGE:

LOT AREA = 25,130 SQUARE FEET
 ALLOWABLE HARDSCAPE AREA = 9%
 ALLOWABLE HARDSCAPE AREA = 25,130 SF X 9% = 2,262 SF
 EXISTING HARDSCAPE AREAS = 3201 SF (WALKWAYS) + 333 SF (ROCKERIES AND RETAINING WALLS) = 3,534 SF
 TOTAL EXISTING HARDSCAPE TO BE REMOVED = 1,105 SF
 TOTAL NEW HARDSCAPE AREA = 0 SF
 TOTAL PROJECT HARDSCAPE AREA = 3,534 SF - 1,105 SF + 0 SF = 2,429 SF
 TOTAL PROJECT HARDSCAPE AREA = 2,429 SF / 25,130 SF = 9.7%
 AREA BORROWED FROM LOT COVERAGE = 186 SF
 TOTAL PROJECT HARDSCAPE AREA (2,429 SF) < ALLOWABLE HARDSCAPE AREA + AREA BORROWED FROM LOT COVERAGE (2,262 SF + 186 SF = 2,448 SF)

MATERIAL KEY

SYMBOL	DESCRIPTION	REMARKS
[Symbol]	LOT COVERAGE REMOVED	EXISTING DRIVEWAY ASPHALT REMOVED
[Symbol]	HARDSCAPE REMOVED	EXISTING HARDSCAPE PATHWAYS REMOVED

BUILDING PAD AREA = 16,721 S.F.
 THERE ARE NO LAND USE APPLICATIONS ASSOCIATED W/ THIS PROJECT.

THE CONTRACTOR SHALL SCOPE ROOF TIGHTLINES AROUND THE HOUSE AND VERIFY THAT THE PIPES ARE CLEAN AND FREE OF DEBRIS SUCH THAT THE SYSTEM IS INTACT. THE CONTRACTOR AND OWNER TAKE FULL RESPONSIBILITY FOR THE CONDITION OF THE DOWNSPOUT TIGHTLINE AND IMPACT TO DOWNSTREAM PROPERTIES. CONTRACTOR TO PROVIDE CLOSED CAPTION TELEVISED VIDEO (CCTV) FOR OWNER AND CITY TO REVIEW THAT SHOWS THE EXISTING DRAINAGE SYSTEM IS WORKING PROPERLY. IF THERE ARE ISSUES WITH THE EXISTING SYSTEM, THE CONTRACTOR SHALL REPAIR THE SYSTEM WITHIN THE OWNER'S PROPERTY LIMITS

All drawings, specifications, plans, ideas, arrangements, and designs represented or referred to are the property of and owned by McFadden Design LLC whether the project for which they are made is executed or not. They were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of McFadden Design LLC.

COPYRIGHT 2024
 MCFADDEN DESIGN LLC

DESIGN	MM
DRAWN	MM
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
2024-05-01	REVISED PERMIT SET
REVISIONS	
[Symbol]	REVISION 1

McFADDEN DESIGN LLC
 1914 5th st.
 Kirkland, WA 98003

WWW.MCFADDENDESIGN.COM

ADAMS RESIDENCE

8035 SE 45TH ST
 MERCER ISLAND 98040

All drawings, specifications, plans, ideas, arrangements, and designs represented or referred to are the property of and owned by McFadden Design LLC whether the project for which they are made is executed or not. They were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of McFadden Design LLC.

COPYRIGHT 2024
McFADDEN DESIGN LLC

FLOOR PLAN LEGEND		
SYMBOL	DESCRIPTION	REMARKS
	DEMO WALL	Existing wall to be removed
	EXISTING WALL	Existing wall to remain
	NEW WALL (Line of Drywall)	2x studs @ 16" O.C.
	EXHAUST FAN	CFM AS NOTED, VENT TO EXTERIOR, SWITCH SEPARATELY
	SMOKE ALARM CO2 DETECTOR	CEILING MOUNTED
	SOUND WALL	STAGGERED 2X STUDS WITH ROCK WOOL SOUND BATTIS & ADDITIONAL LAYER GWB AT RECEIVER SIDE

NOTE: CONTRACTOR MUST CONTACT ARCHITECT IMMEDIATELY FOR ANY DISCREPANCIES IN CONTRACT DOCUMENTS OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK.

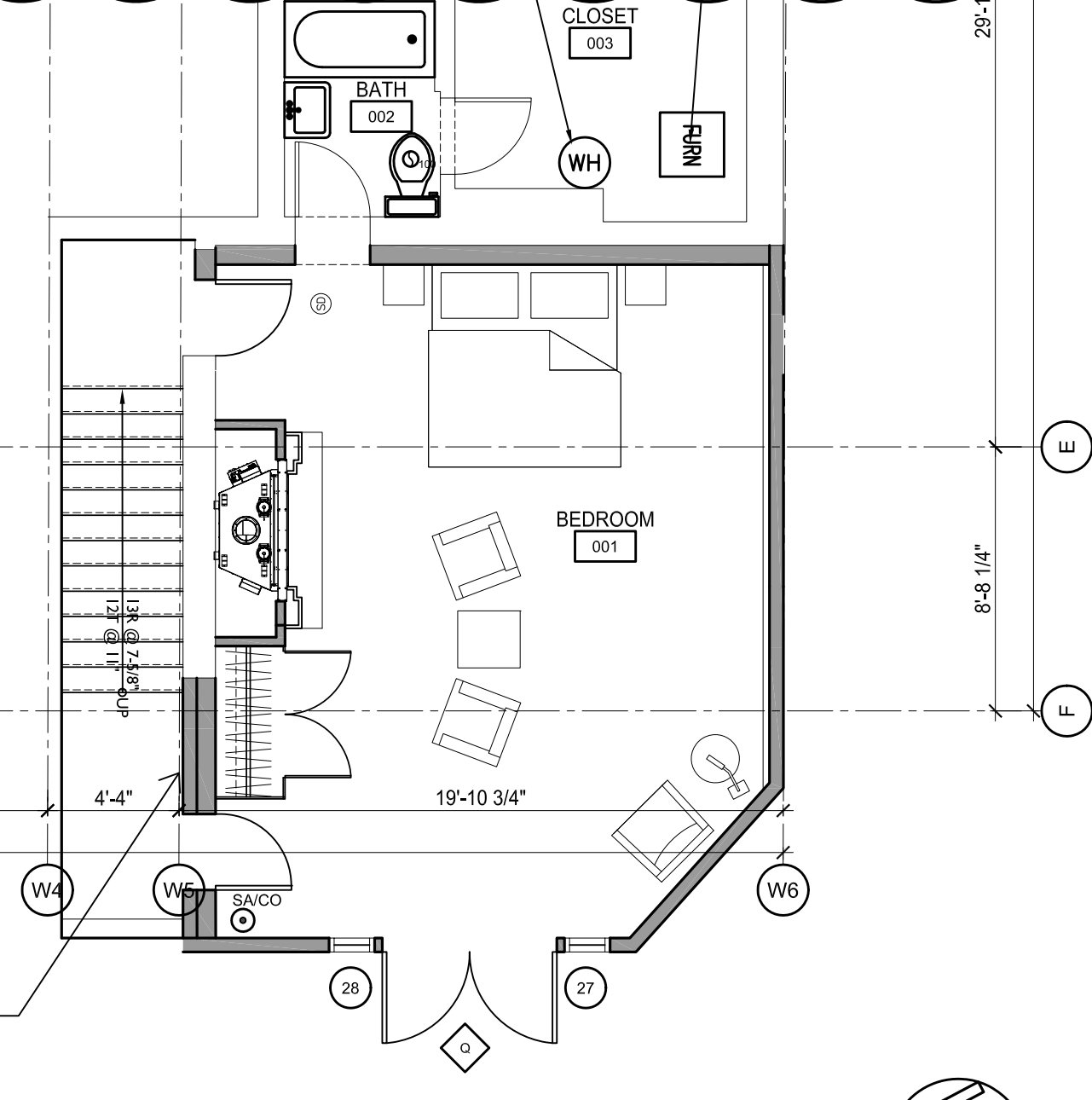
- GENERAL STAIR NOTES**
- Tread run to be 10" minimum (11" minimum for occupancies greater than 10).
 - Riser height to be 7 3/4" maximum (7" maximum for occupancies greater than 10).
 - Stair width and landing length to be 36" minimum.
 - Winder tread width to be 6" minimum.
 - Winder tread width to be 10" minimum at a point 12" from inside of stair.
 - Handgrasp width to be 1 1/4" minimum and 2" maximum.
 - Handgrasp to have a minimum clear space to wall surface of 1 1/2".
 - Handgrasp to project into stairway 3 1/2" maximum.
 - Top of handgrasp to be 34" minimum and 38" maximum above nosings.
 - Handgrasp to be continuous from first to last nosing.
 - Handgrasp to return to wall or terminate at a newel post.
 - Guardrails (level) to be capable of withstanding a #200 force at any point in any direction.
 - Guardrail members to be spaced so as to prohibit the passing of a 4" diameter sphere through railing at any point.
 - Guardrails and handrails to be 36" minimum above finish floor.

ENERGY CREDIT COMPLIANCE

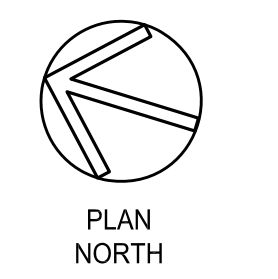
PROVIDE COMPLIANCE WITH ENERGY CREDIT 2.1 (REDUCE THE TESTED AIR LEAKAGE TO 3.0 AIR CHANGES PER HOUR MAXIMUM AT 50 PASCALS AND ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M1507.3 OF THE INTERNATIONAL RESIDENTIAL CODE OR SECTION 403.8 OF THE INTERNATIONAL MECHANICAL CODE SHALL BE MET WITH A HIGH EFFICIENCY FANS) (MAXIMUM 0.35 WATTS/CFM). NOT INTERLOCKED WITH THE FURNACE FAN (IF PRESENT). VENTILATION SYSTEMS USING A FURNACE INCLUDING AN ECM MOTOR ARE ALLOWED, PROVIDED THAT THEY ARE CONTROLLED TO OPERATE AT LOW SPEED IN VENTILATION ONLY MODE.)

NEW HEAT PUMPS COMPLY WITH ENERGY CREDIT 3.5, MINIMUM HSPF OF 11.0.

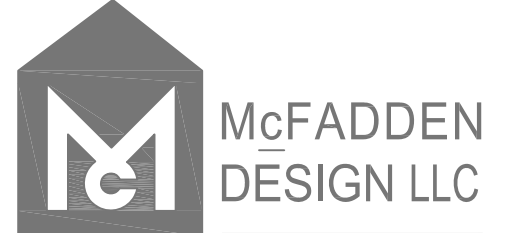
NEW HOT WATER HEATER TO COMPLY WITH ENERGY CREDIT 5.5, MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION.



2 LOWER FLOOR PLAN
SCALE: 3/16" = 1'-0"



DESIGN	MM
DRAWN	MM
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
2024-05-01	REVISED PERMIT SET
REVISIONS	
	REVISION 1



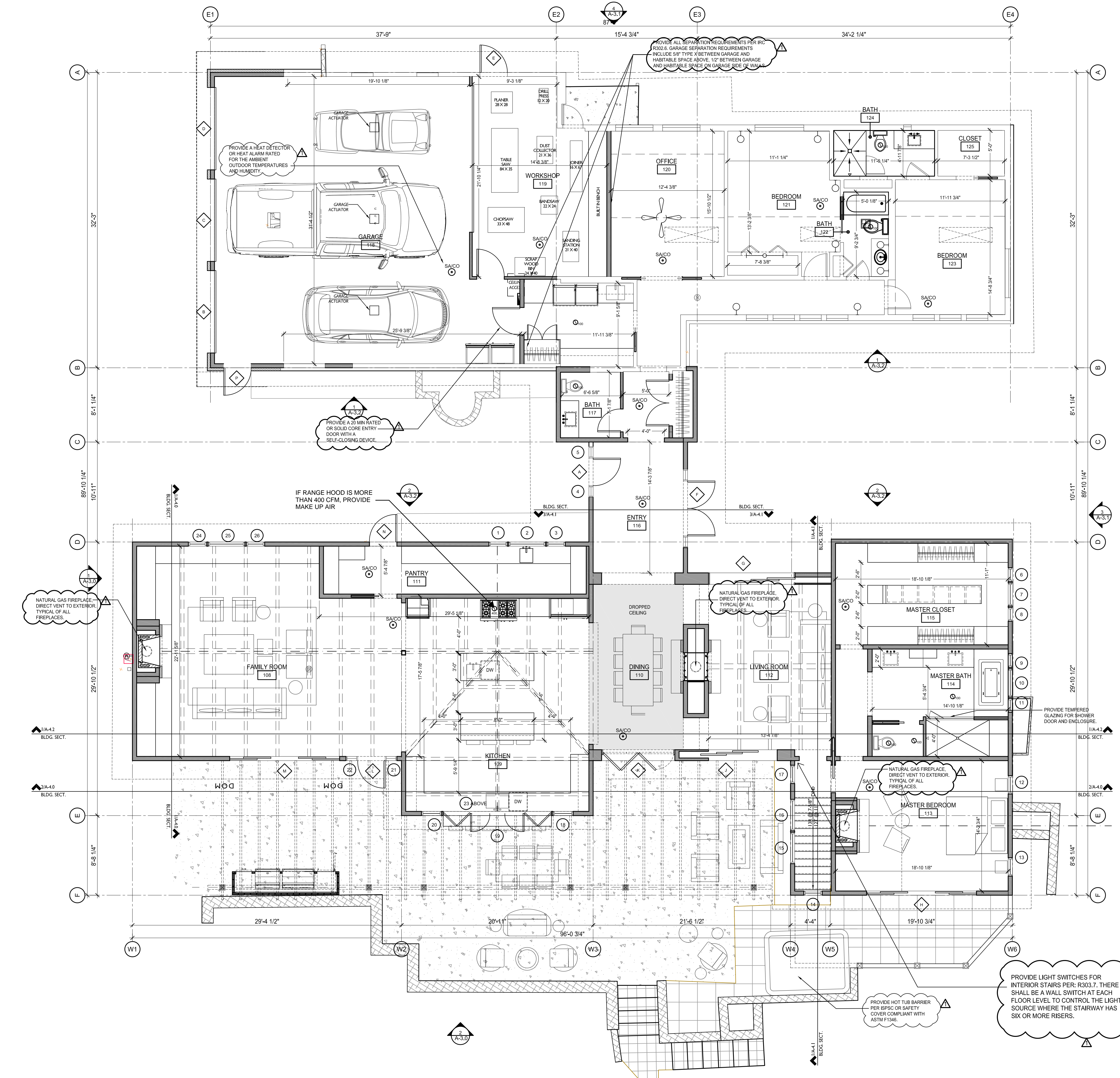
1914 5th st.
Kirkland, WA 98003

WWW.MCFADDENDSIGN.COM

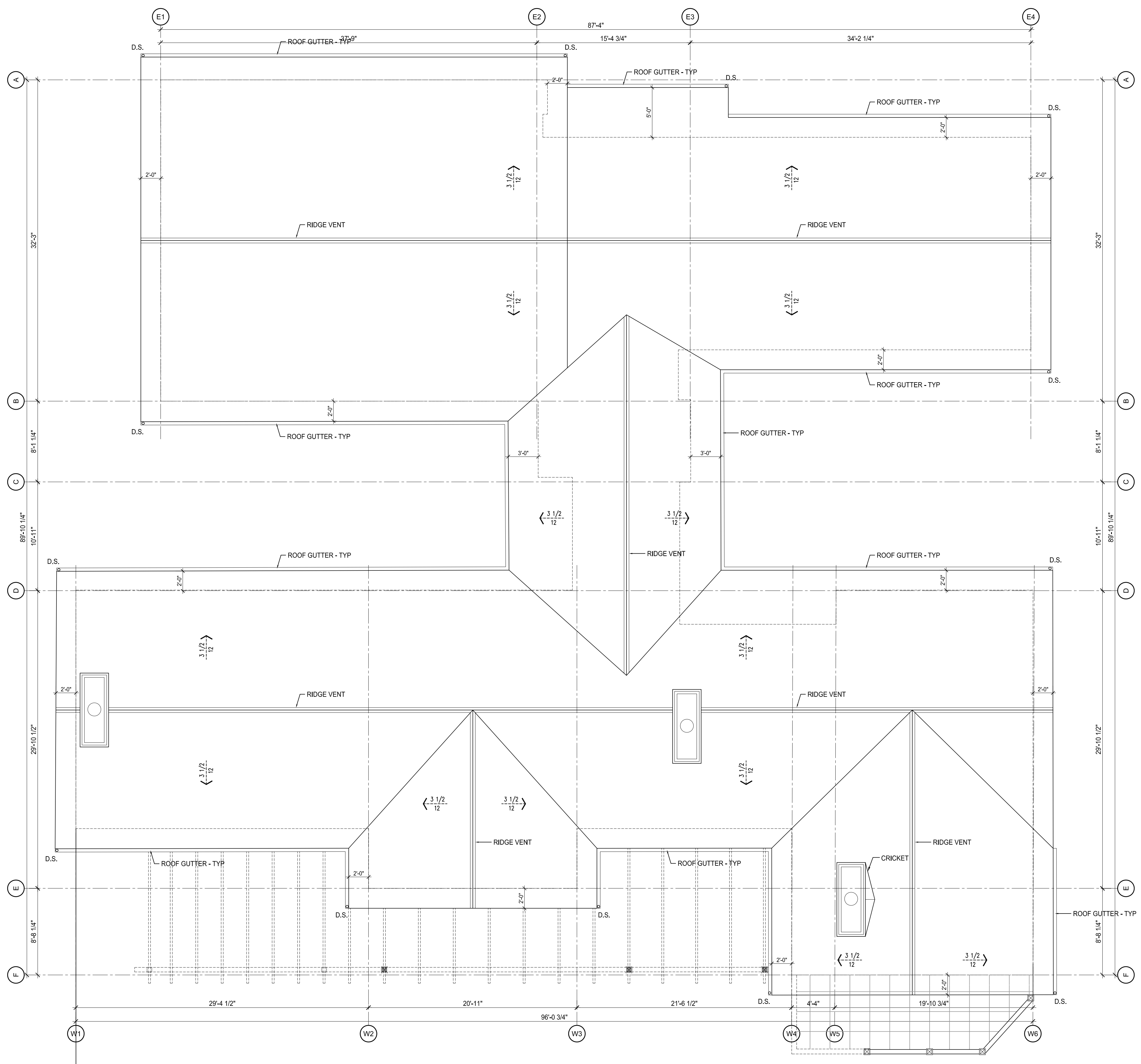
ADAMS RESIDENCE

8035 SE 45TH ST
MERCER ISLAND 98040

MAIN FLOOR PLAN



1 MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"



ROOF PLAN LEGEND		
SYMBOL	DESCRIPTION	REMARKS
DS	EXTERIOR DOWNSPOUT	3" DIAMETER, METAL, PAINTED
RD	ROOF DRAIN	AT LOW POINT OF ROOF, 3"- MINIMUM
CRV	CONTINUOUS RIDGE VENT	0.104 S.F. / L.F. NET FREE VENT AREA, MATCH ROOFING COLOR
SV	SOFFIT VENT	0.083 S.F. / L.F. NET FREE VENT AREA

- ROOF PLAN NOTES**
- FLOOD TEST ALL FLAT ROOFS FOR 24 HOURS PRIOR TO INSULATING.
 - ROOFING CONTRACTOR TO GUARANTEE MATERIALS AND WORKMANSHIP FOR 10 YEARS.
 - ALL ROOF PENETRATION LOCATIONS TO BE APPROVED BY ARCHITECT PRIOR TO ROUGH IN. NO ROOF PENETRATIONS ON THE (FRONT) SIDE OF ROOF. MINIMIZE QUANTITIES OF ROOF PENETRATIONS AS MUCH AS POSSIBLE. COMBINE VENT STACKS.
 - CONTRACTOR TO FIELD VERIFY VENTING CONTINUITY AND 1" MINIMUM AIRSPACE ABOVE INSULATION.

NOTE:
ALL NEW DOWN SPOUTS TO BE CONNECTED TO EXISTING TIGHTLINE SYSTEM.

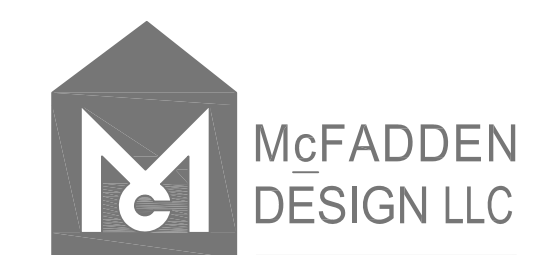
ROOF VENTILATION CALCULATIONS - HOUSE	
ROOF AREA	6,598 SQUARE FEET
REQUIRED VENT AREA	6,598 / 300 = 21.99 SQUARE FEET
RIDGE VENT	275.17 L.F. PROVIDED 0.104 S.F. PER L.F. VENT AREA 275.17 X 0.104 = 28.6 S.F. PROVIDED
SOFFIT VENT	540.5 L.F. PROVIDED 2" WIDE CONT. VENT WITH 1/4" GALV. VENT SCREEN = 0.083 S.F. VENT AREA PER L.F. 540.5 X 0.083 = 44.9 S.F. PROVIDED
EAVE BLOCKING	FULL HEIGHT BLOCKING WITH (6) 2-1/2" VENT HOLES PER 14" GREATER THAN OR EQUAL TO SOFFIT VENTING
TOTAL VENT AREA	73.5 S.F. TOTAL VENT AREA PROVIDED

All drawings, specifications, plans, ideas, arrangements, and designs represented or referred to are the property of and owned by McFadden Design LLC whether the project for which they are made is executed or not. They were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of McFadden Design LLC.

COPYRIGHT 2024
MCFADDEN DESIGN LLC

DESIGN	MM
DRAWN	MM
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
2024-05-01	REVISED PERMIT SET

REVISIONS	
△	REVISION 1

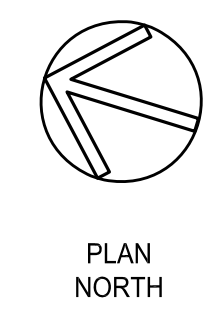


1914 5th st.
Kirkland, WA 98003

WWW.MCFADDENDSIGN.COM

ADAMS RESIDENCE

8035 SE 45TH ST
MERCER ISLAND 98040



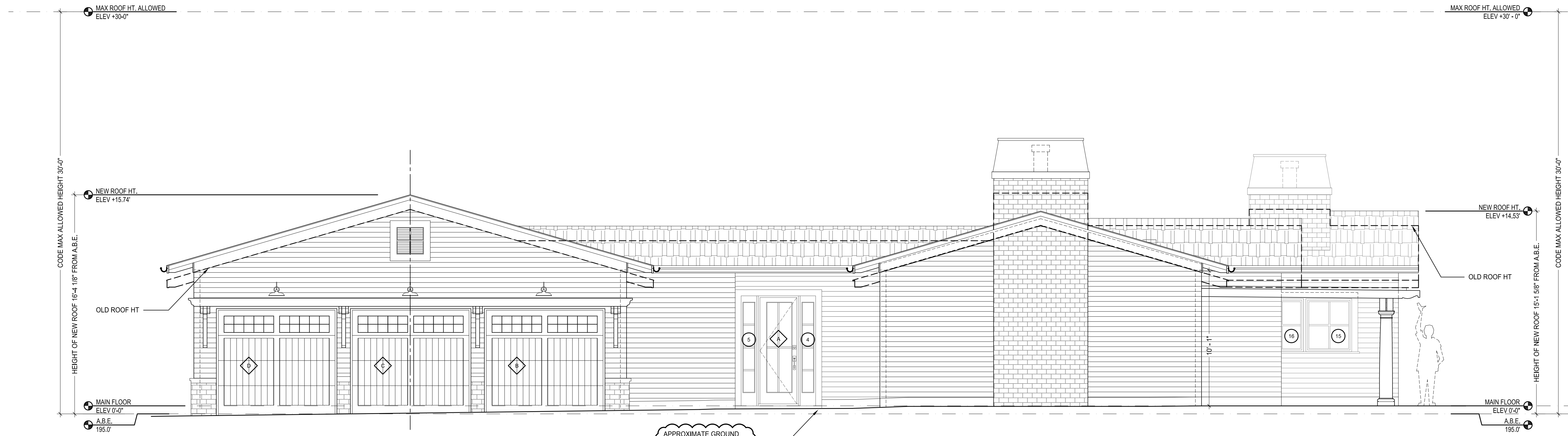
ROOF PLAN

A-2.2

1 ROOF PLAN
SCALE: 3/16" = 1'-0"

All drawings, specifications, plans, ideas, arrangements, and designs represented or referred to are the property of and owned by McFadden Design LLC whether the project for which they are made is executed or not. They were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of McFadden Design LLC.

COPYRIGHT 2024
 © MCFADDEN DESIGN LLC

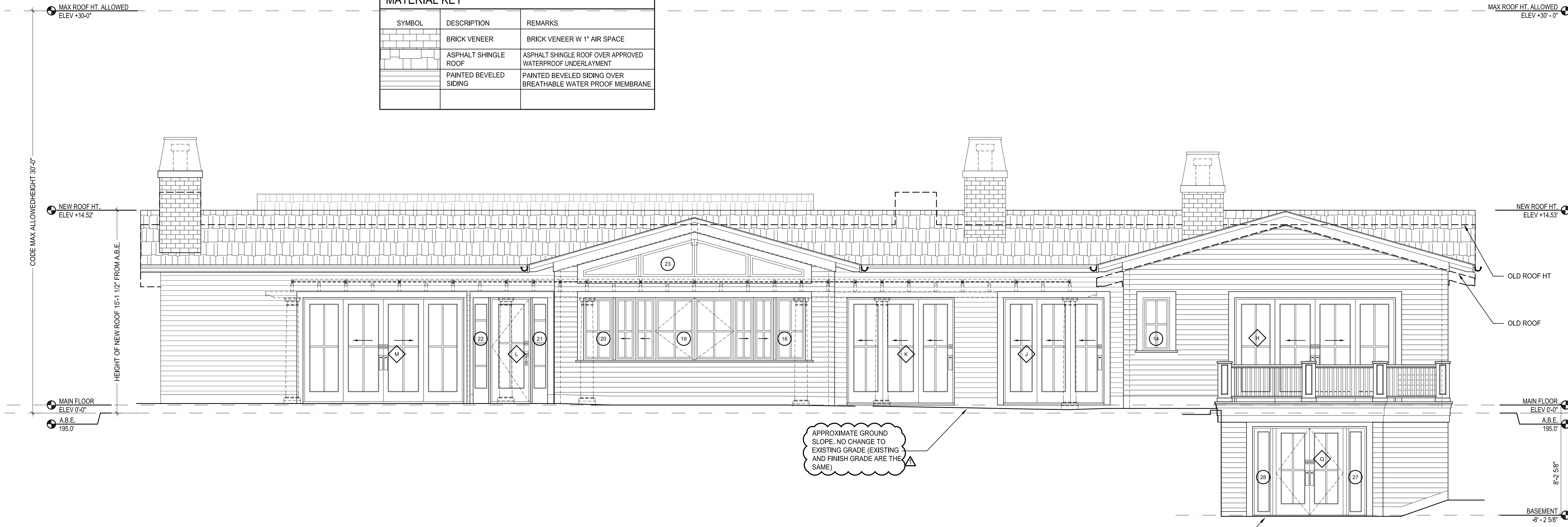


1 NORTH ELEVATION
 Scale 1/4" = 1'-0"

NOTE: +0'-0" (T.O. MAIN FINISH FLOOR) = ELEVATION 195.5'

APPROXIMATE GROUND SLOPE. NO CHANGE TO EXISTING GRADE (EXISTING AND FINISH GRADE ARE THE SAME)

SYMBOL	DESCRIPTION	REMARKS
	BRICK VENEER	BRICK VENEER W 1" AIR SPACE
	ASPHALT SHINGLE ROOF	ASPHALT SHINGLE ROOF OVER APPROVED WATERPROOF UNDERLAYMENT
	PAINTED BEVELED SIDING	PAINTED BEVELED SIDING OVER BREATHABLE WATER PROOF MEMBRANE



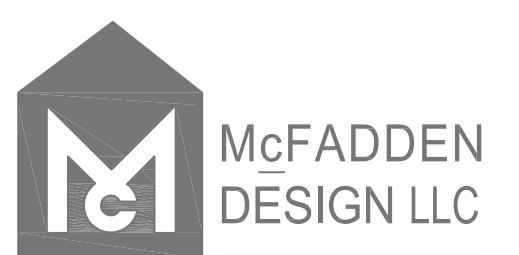
2 WEST ELEVATION
 Scale 1/4" = 1'-0"

APPROXIMATE GROUND SLOPE. NO CHANGE TO EXISTING GRADE (EXISTING AND FINISH GRADE ARE THE SAME)

APPROXIMATE GROUND SLOPE. NO CHANGE TO EXISTING GRADE (EXISTING AND FINISH GRADE ARE THE SAME)

DESIGN	MM
DRAWN	MM
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
2024-05-01	REVISED PERMIT SET

REVISIONS
 REVISION 1



1914 5th st.
 Kirkland, WA 98003

WWW.MCFADDENDSIGN.COM

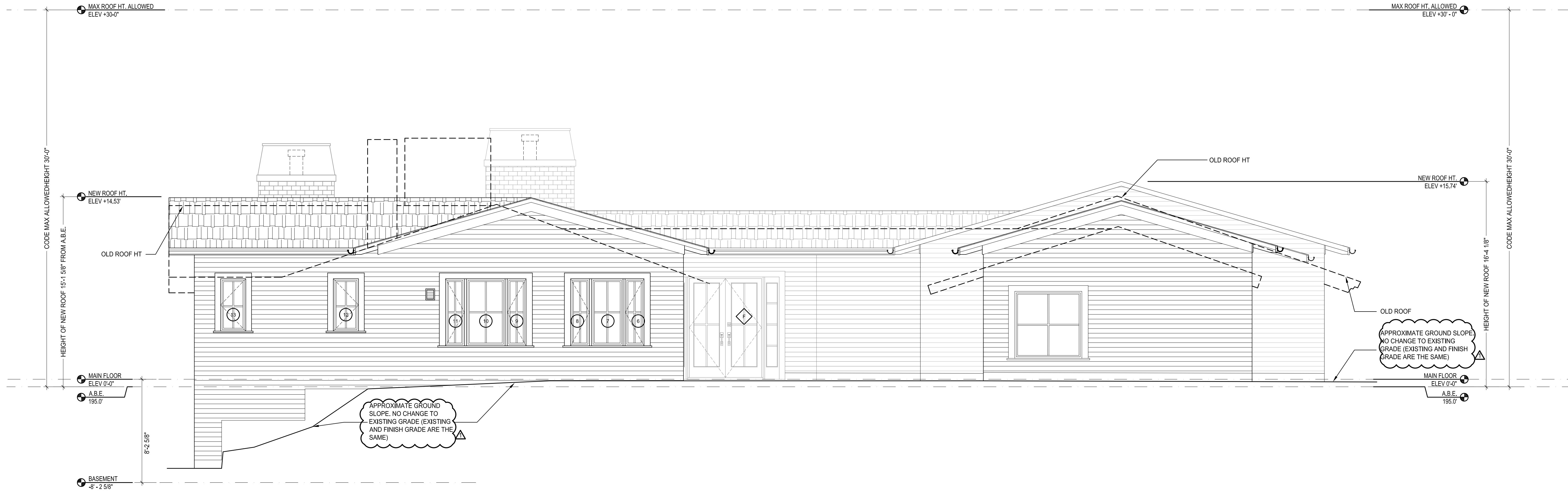
ADAMS RESIDENCE

8035 SE 45TH ST
 MERCER ISLAND 98040

EXTERIOR ELEVATIONS

All drawings, specifications, plans, ideas, arrangements, and designs represented or referred to are the property of and owned by McFadden Design LLC whether the project for which they are made is executed or not. They were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of McFadden Design LLC.

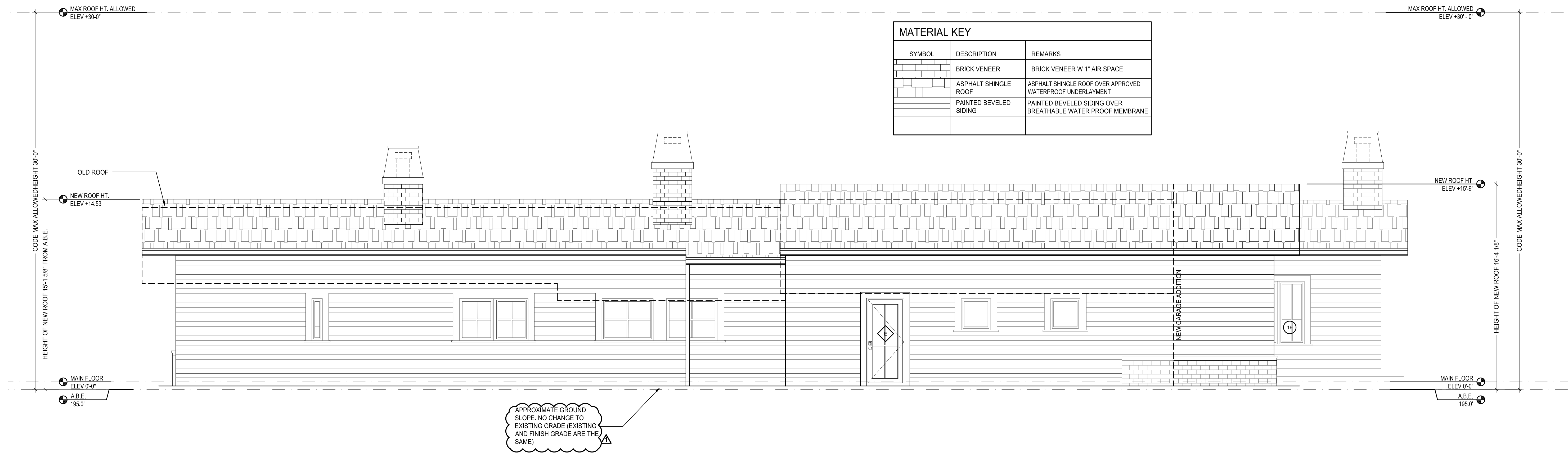
COPYRIGHT 2024
 © MCFADDEN DESIGN LLC



1 SOUTH ELEVATION
 Scale 1/4" = 1'-0"

NOTE: +0'-0" (T.O. MAIN FINISH FLOOR) = ELEVATION 195.5'

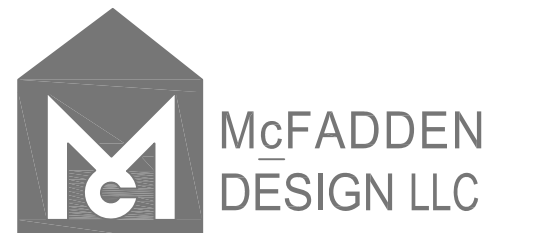
MATERIAL KEY		
SYMBOL	DESCRIPTION	REMARKS
	BRICK VENEER	BRICK VENEER W 1" AIR SPACE
	ASPHALT SHINGLE ROOF	ASPHALT SHINGLE ROOF OVER APPROVED WATERPROOF UNDERLAYMENT
	PAINTED BEVELED SIDING	PAINTED BEVELED SIDING OVER BREATHABLE WATER PROOF MEMBRANE



2 EAST ELEVATION
 Scale 1/4" = 1'-0"

DESIGN	MM
DRAWN	MM
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
2024-05-01	REVISED PERMIT SET

REVISIONS	
△	REVISION 1



1914 5th st.
 Kirkland, WA 98003

WWW.MCFADDENDSIGN.COM

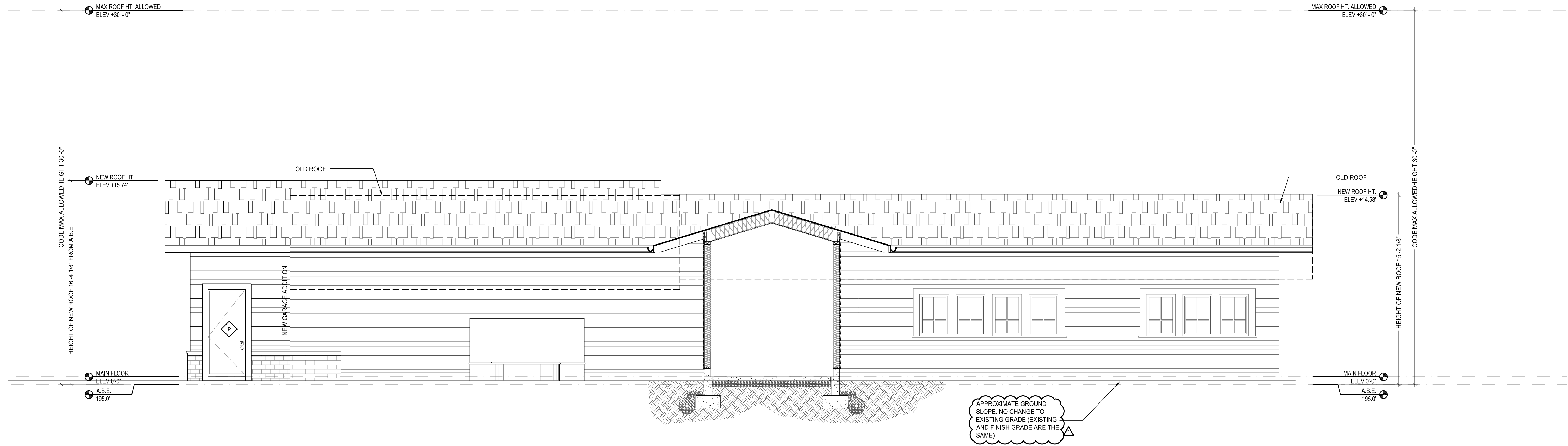
**ADAMS
 RESIDENCE**

8035 SE 45TH ST
 MERCER ISLAND 98040

EXTERIOR ELEVATIONS

All drawings, specifications, plans, ideas, arrangements, and designs represented or referred to are the property of and owned by McFadden Design LLC whether the project for which they are made is executed or not. They were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of McFadden Design LLC.

COPYRIGHT 2024
 © MCFADDEN DESIGN LLC



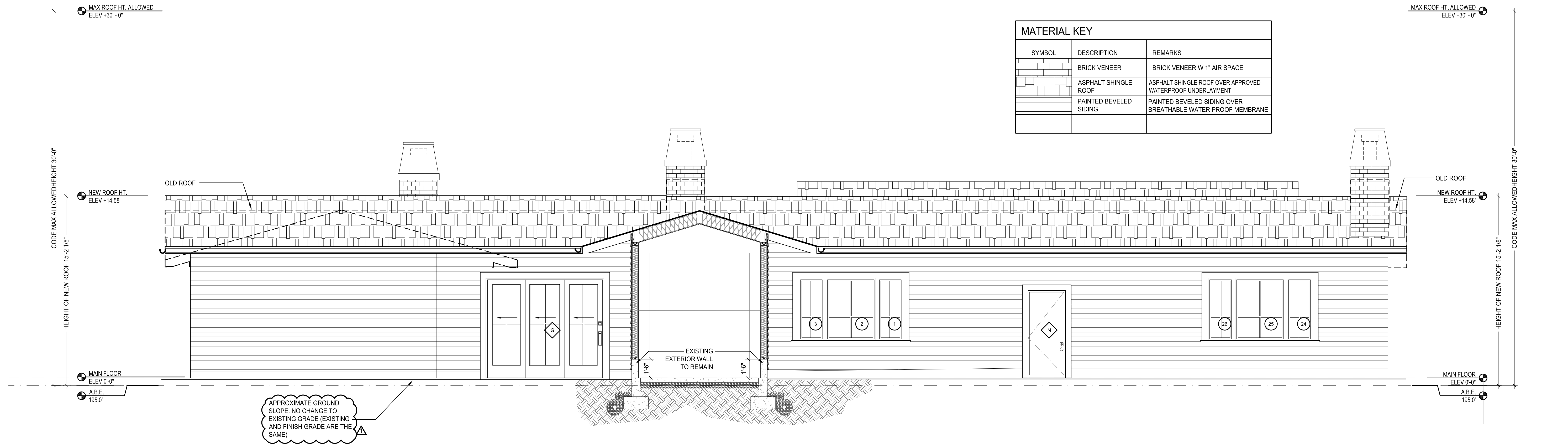
1 WEST GARAGE ELEVATION
 Scale 1/4" = 1'-0"

DESIGN	MM
DRAWN	MM
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
2024-05-01	REVISED PERMIT SET

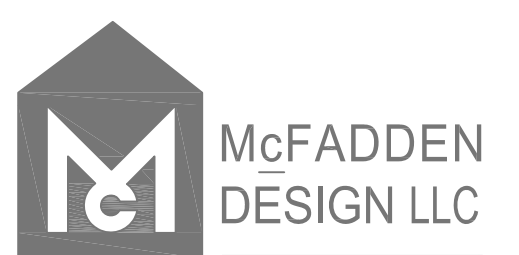
REVISIONS	
1	REVISION 1

NOTE: +0'-0" (T.O. MAIN FINISH FLOOR) = ELEVATION 195.5'

MATERIAL KEY		
SYMBOL	DESCRIPTION	REMARKS
	BRICK VENEER	BRICK VENEER W 1" AIR SPACE
	ASPHALT SHINGLE ROOF	ASPHALT SHINGLE ROOF OVER APPROVED WATERPROOF UNDERLAYMENT
	PAINTED BEVELED SIDING	PAINTED BEVELED SIDING OVER BREATHABLE WATER PROOF MEMBRANE



2 ENTRY SECTION
 Scale 1/4" = 1'-0"



1914 5th st.
 Kirkland, WA 98003

WWW.MCFADDENDSIGN.COM

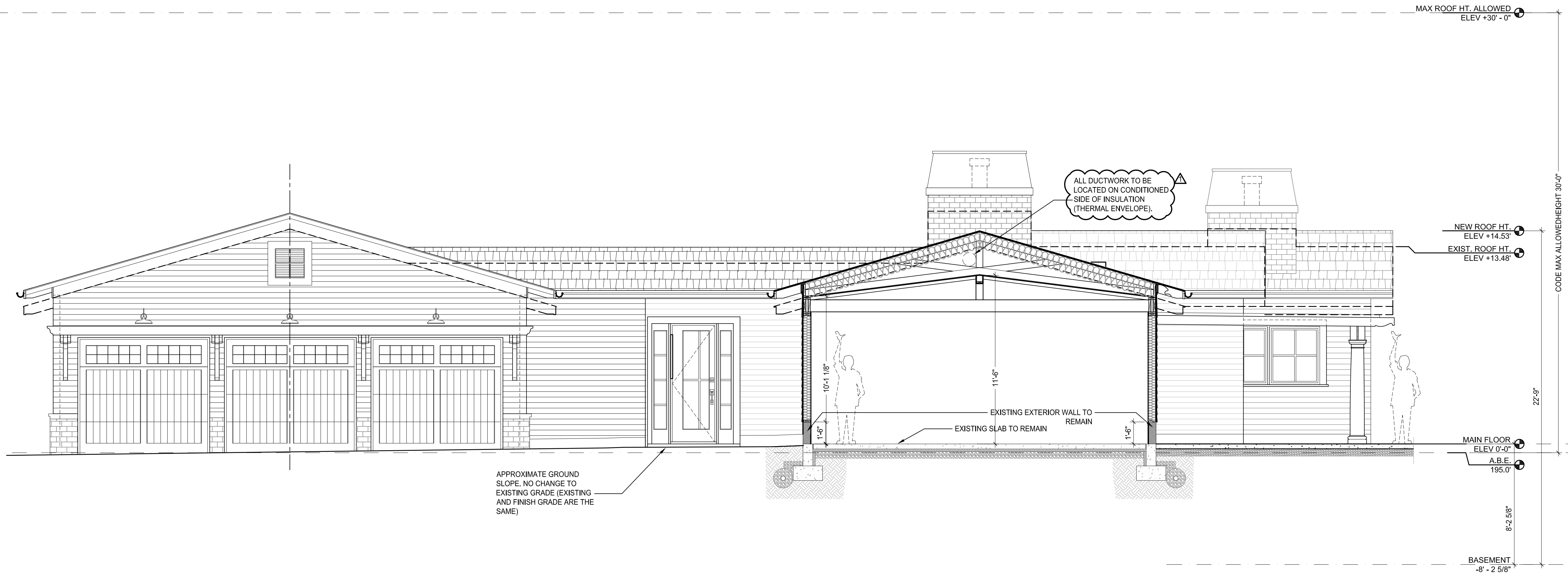
ADAMS RESIDENCE

8035 SE 45TH ST
 MERCER ISLAND 98040

EXTERIOR ELEVATIONS

All drawings, specifications, plans, ideas, arrangements, and designs represented or referred to are the property of and owned by McFadden Design LLC whether the project for which they are made is executed or not. They were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of McFadden Design LLC.

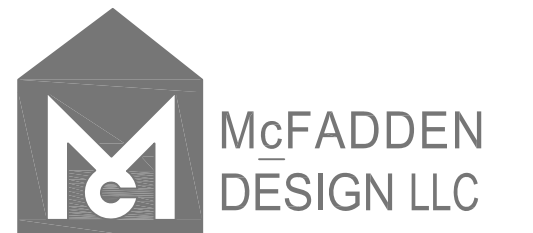
COPYRIGHT 2024
 MCFADDEN DESIGN LLC



1 BUILDING SECTION
 Scale 1/4" = 1'-0"

DESIGN	MM
DRAWN	MM
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
2024-05-01	REVISED PERMIT SET

REVISIONS	
△	REVISION 1

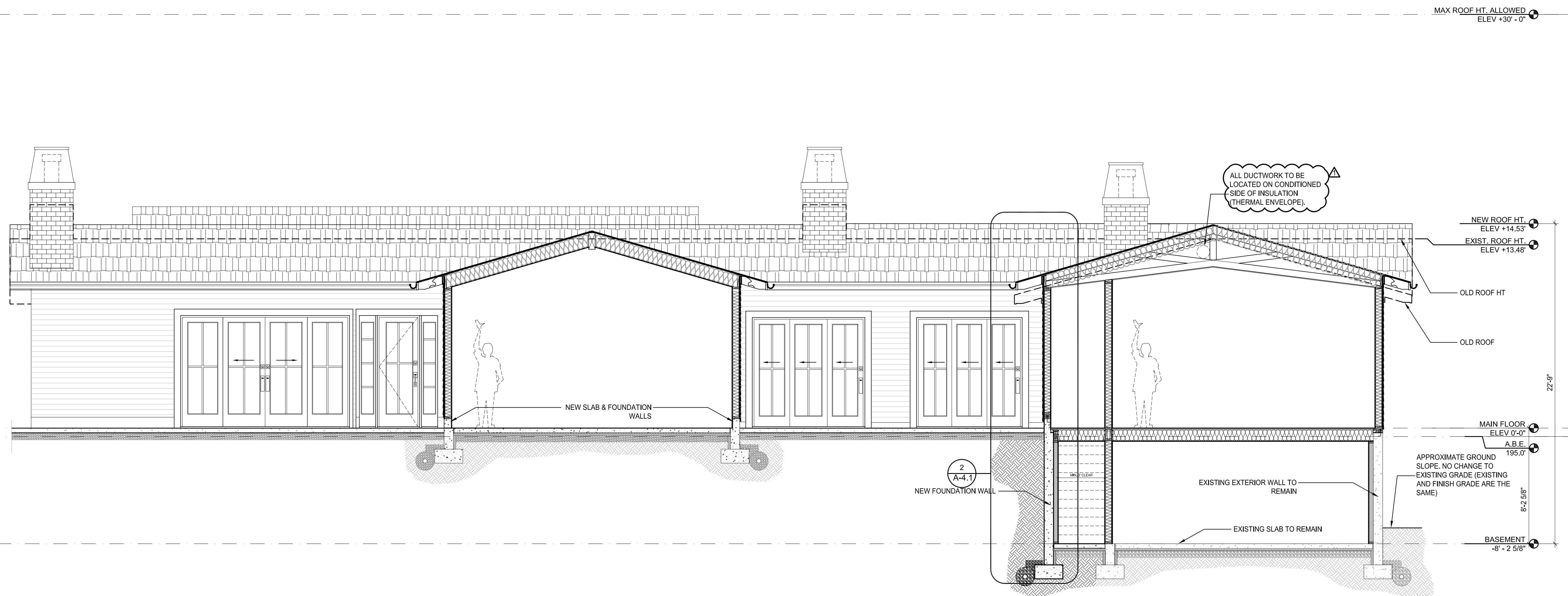


1914 5th st.
 Kirkland, WA 98003

WWW.MCFADDENDESIGN.COM

ADAMS RESIDENCE

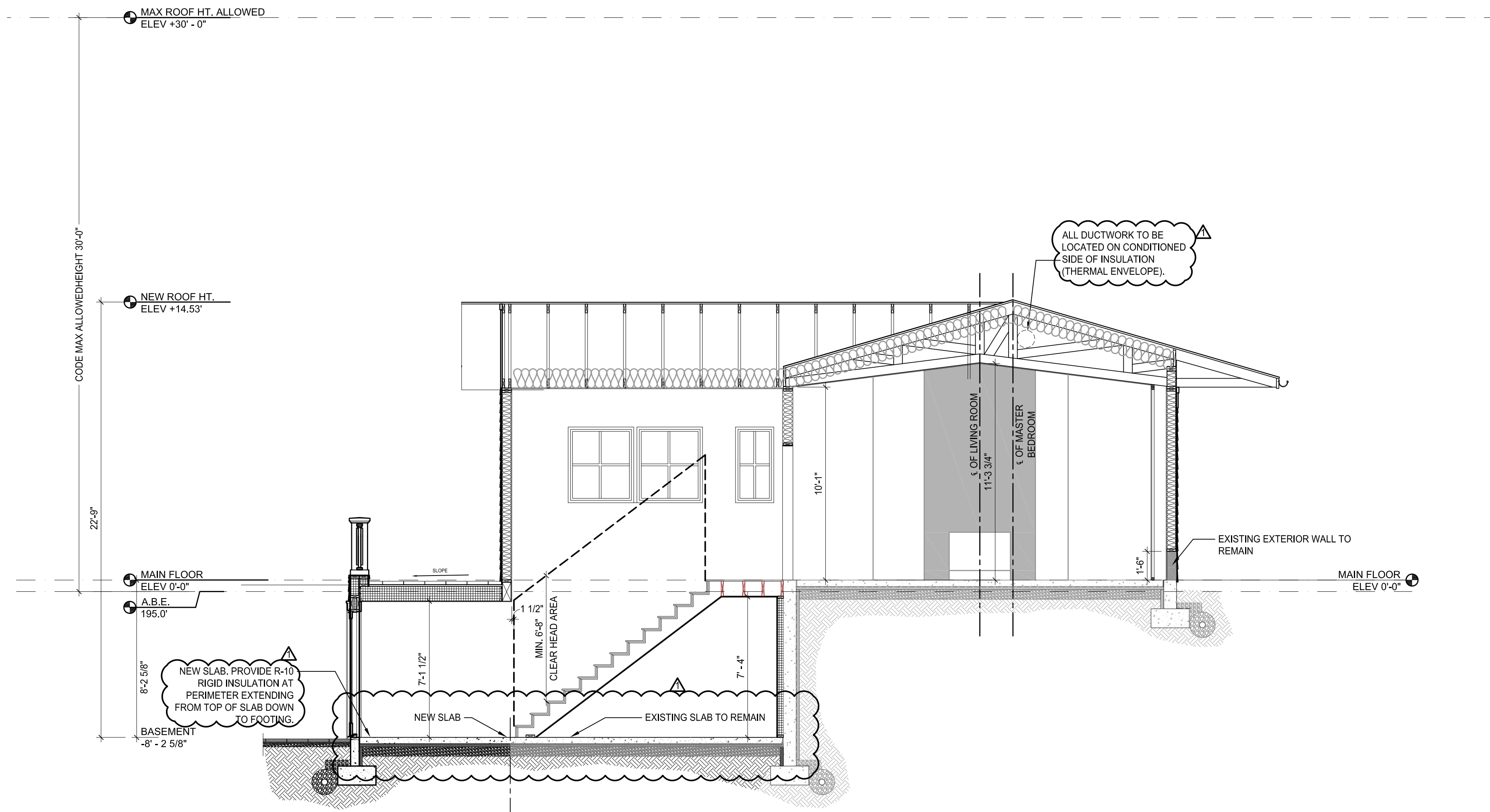
8035 SE 45TH ST
 MERCER ISLAND 98040



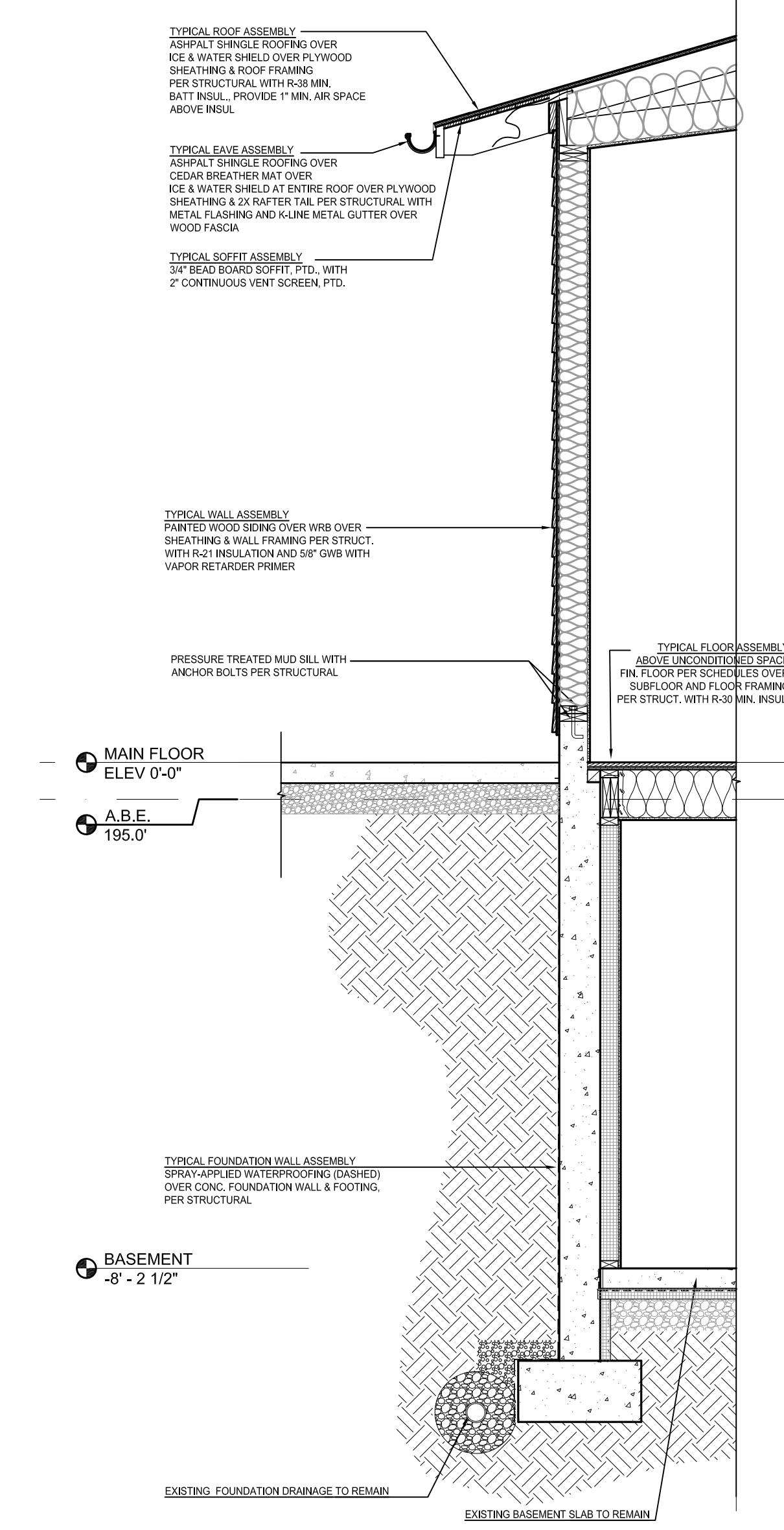
2 BUILDING SECTION
 Scale 1/4" = 1'-0"

BUILDING SECTION

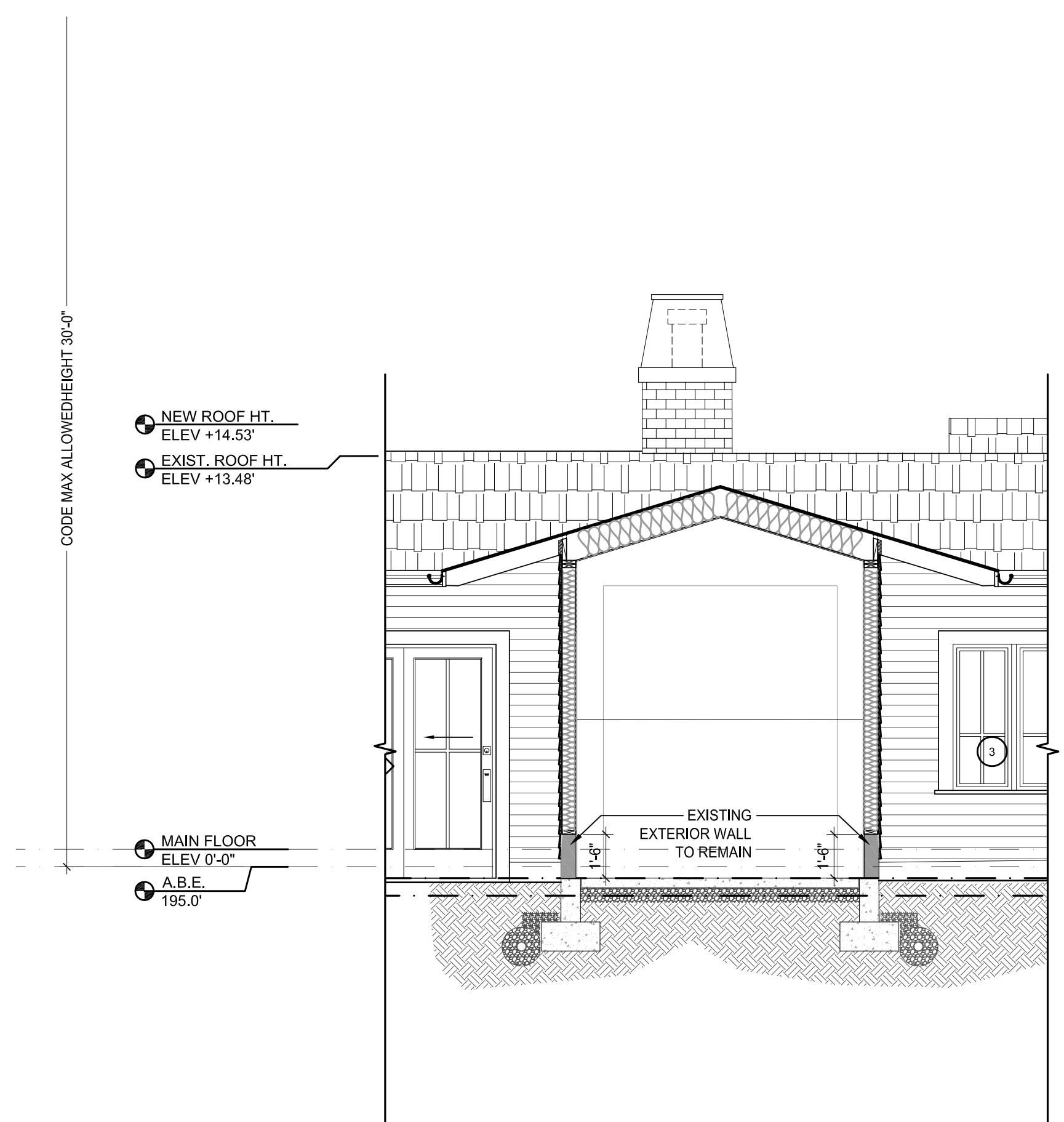
A-4.0



1 BUILDING SECTION
Scale 1/4" = 1'-0"



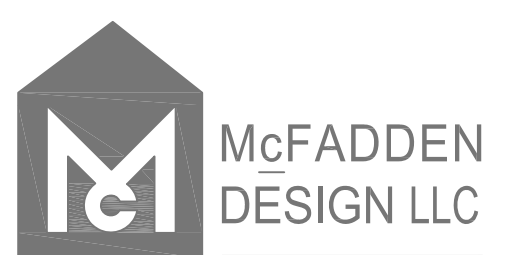
2 NEW WALL SECTION
Scale 1/2" = 1'-0"



All drawings, specifications, plans, ideas, arrangements, and designs represented or referred to are the property of and owned by McFadden Design LLC whether the project for which they are made is executed or not. They were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of McFadden Design LLC.

COPYRIGHT 2024
McFADDEN DESIGN LLC

DESIGN	MM
DRAWN	MM
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
2024-05-01	REVISED PERMIT SET
REVISIONS	
	REVISION 1



1914 5th st.
Kirkland, WA 98003

WWW.MCFADDENDSIGN.COM

ADAMS RESIDENCE

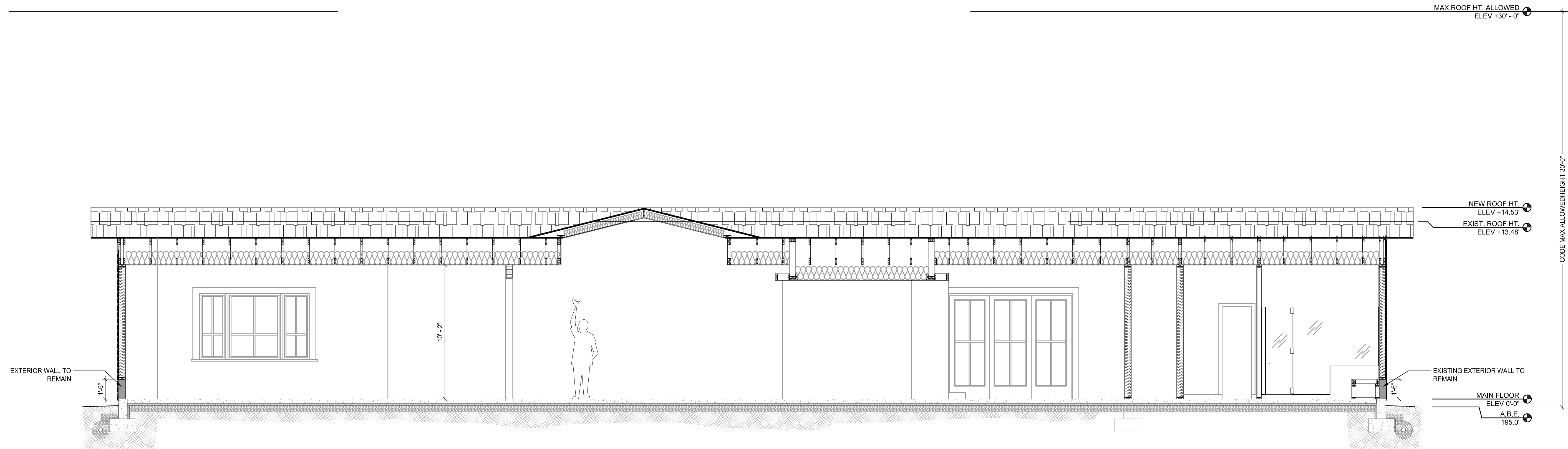
8035 SE 45TH ST
MERCER ISLAND 98040

BUILDING SECTION

A-4.1

All drawings, specifications, plans, ideas, arrangements, and designs represented or referred to are the property of and owned by McFadden Design LLC whether the project for which they are made is executed or not. They were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of McFadden Design LLC.

COPYRIGHT 2024
 MCFADDEN DESIGN LLC



1 BUILDING SECTION
 Scale 1/4" = 1'-0"

DESIGN	MM
DRAWN	MM
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
2024-05-01	REVISED PERMIT SET

REVISIONS	
△	REVISION 1



1914 5th st.
 Kirkland, WA 98003

WWW.MCFADDENDESIGN.COM

ADAMS RESIDENCE

8035 SE 45TH ST
 MERCER ISLAND 98040

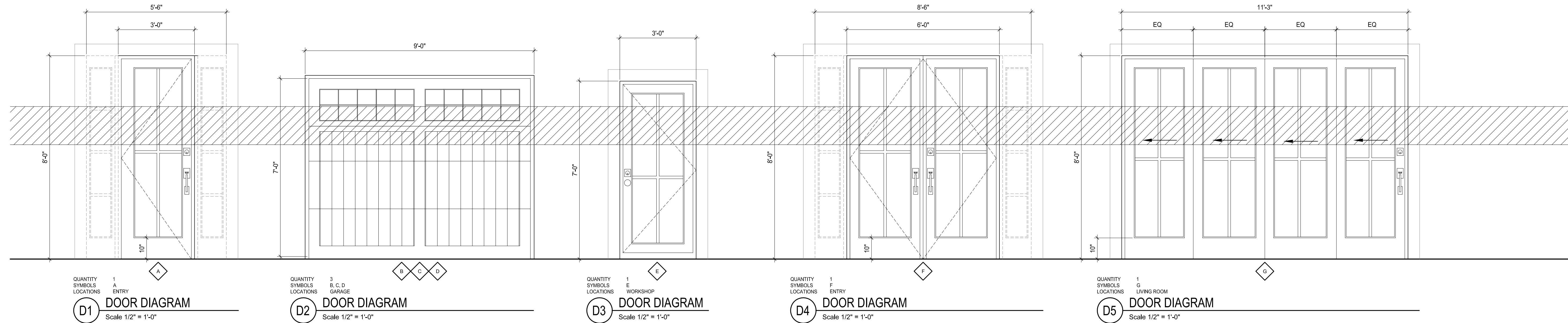
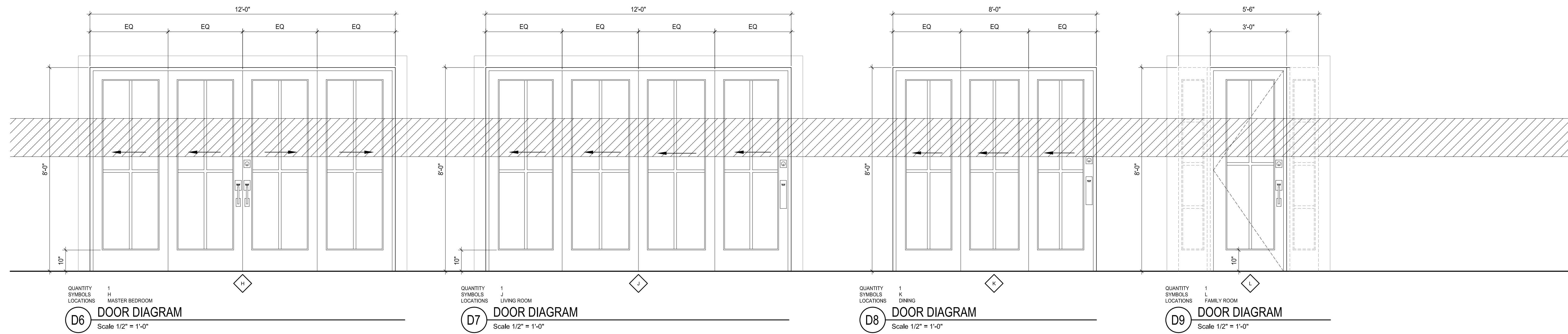
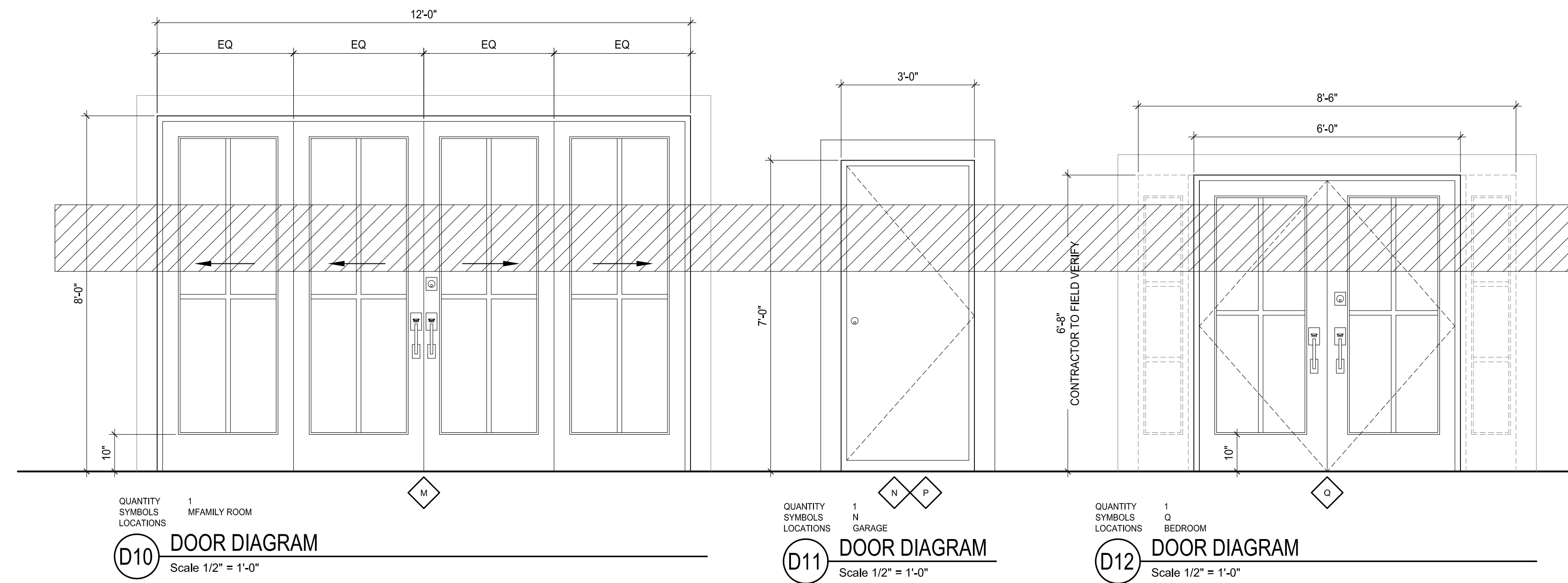
All drawings, specifications, plans, ideas, arrangements, and designs represented or referred to are the property of and owned by McFadden Design LLC whether the project for which they are made is executed or not. They were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of McFadden Design LLC.

COPYRIGHT 2023
McFADDEN DESIGN LLC

SYMBOL	LOCATION	ROOM	DIAGRAM	TYPE	GLAZED AREA	FINISH (INT. / EXT.)	U	REMARKS
A	SEE DIAGRAM	116	D1	SWINGING	12.14 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
B	SEE DIAGRAM	118	D2	OVERHEAD	8.9 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
C	SEE DIAGRAM	118	D2	OVERHEAD	8.9 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
D	SEE DIAGRAM	118	D2	OVERHEAD	8.9 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
E	SEE DIAGRAM	119	D3	SWINGING	11.65 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
F	SEE DIAGRAM	116	D4	SWINGING	26.32 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
G	SEE DIAGRAM	112	D5	SLIDING	50.16 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
H	SEE DIAGRAM	113	D6	SLIDING	57.12 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
J	SEE DIAGRAM	112	D7	SLIDING	57.12 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
K	SEE DIAGRAM	110	D8	BI-FOLDING	34.68 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
L	SEE DIAGRAM	108	D9	SWINGING	12.14 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
M	SEE DIAGRAM	108	D10	SLIDING	57.12 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
N	SEE DIAGRAM	111	D11	SWINGING	NA	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
P	SEE DIAGRAM	118	D11	SWINGING	NA	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)
Q	SEE DIAGRAM	001	D12	SWINGING	26.32 SF	PTD. / CLAD	.29	PAINTED INTERIOR, CLAD EXTERIOR (SAFETY GLASS)

DOOR SCHEDULE ORGANIZATION
 1. EXTERIOR DOORS ARE CALLED OUT WITH A SINGLE LETTER (EXAMPLE: A, B, C...)
 2. PROVIDE EXTERIOR TRIM AND WALL COVERS AS INDICATED ON EXTERIOR ELEVATIONS AND DETAILS
 3. LABELING BEGINS AT THE MAIN LEVEL, THEN LOWER
 4. CONTRACTOR TO COVER ALL REQUIRED ROUGH OPENING SIZES WITH MANUFACTURER'S FRAMING
 5. MANUFACTURER TO REVIEW INSTALLATION LOCATIONS AND DETERMINE WHICH LITES ARE REQUIRED TO BE SAFETY GLAZING
 6. MANUFACTURER TO REVIEW INSTALLATION LOCATIONS AND SIZES TO DETERMINE IF OPERABLE DOORS MEET EGRESS REQUIREMENTS

DOOR DIAGRAM NOTES
 1. ALL DIAGRAMS ARE SHOWN FROM THE EXTERIOR SIDE
 2. PROVIDE EXTERIOR TRIM AND WALL COVERS AS INDICATED ON EXTERIOR ELEVATIONS AND DETAILS
 3. SHOP DRAWING APPROVAL BY ARCHITECT REQUIRED PRIOR TO FABRICATION
 4. CONTRACTOR TO COVER ALL REQUIRED ROUGH OPENING SIZES WITH MANUFACTURER'S FRAMING
 5. MANUFACTURER TO REVIEW INSTALLATION LOCATIONS AND DETERMINE WHICH LITES ARE REQUIRED TO BE SAFETY GLAZING
 6. MANUFACTURER TO REVIEW INSTALLATION LOCATIONS AND SIZES TO DETERMINE IF OPERABLE DOORS MEET EGRESS REQUIREMENTS



DESIGN	MM
DRAWN	MM
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
REVISIONS	

McFADDEN DESIGN LLC
 1914 5th st.
 Kirkland, WA 98003

WWW.MCFADDENDESIGN.COM

ADAMS RESIDENCE

8035 SE 45TH ST
 MERCER ISLAND 98040

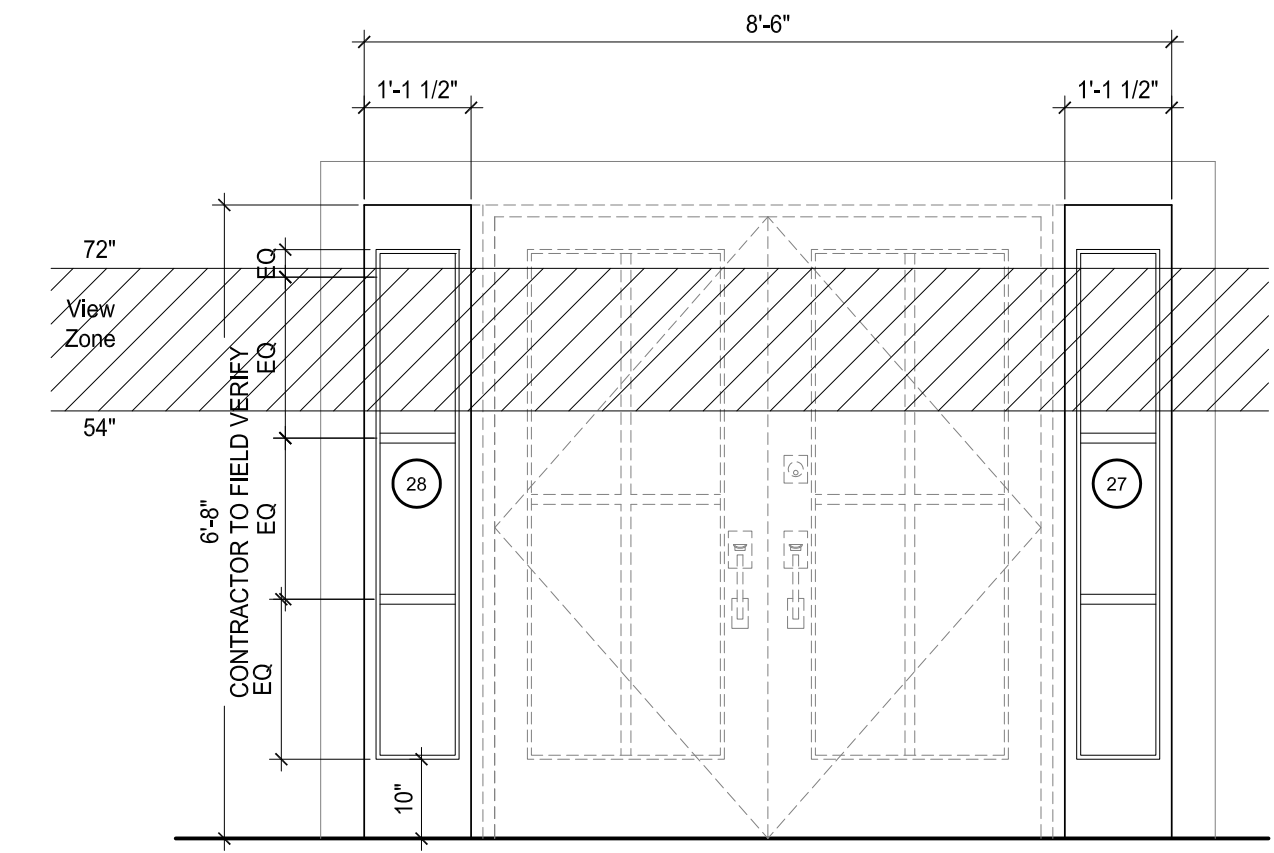
DOOR DIAGRAMS
 & SCHEDULE

A-6.0

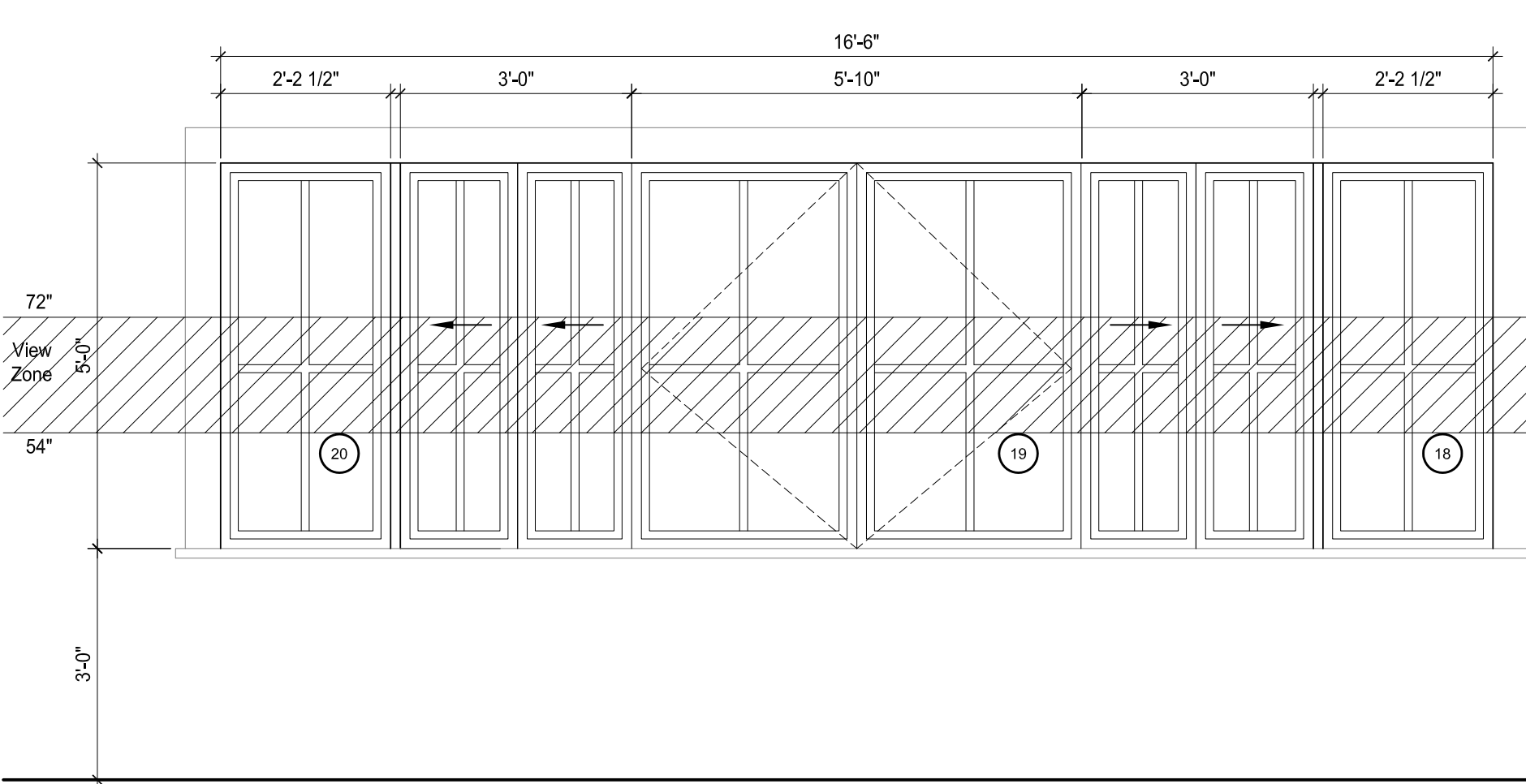
SYMBOL	LOCATION	ROOM	DIAGRAM	TYPE	AREA	FINISH	U	REMARKS
1	SEE DIAGRAM	111	W1	FIXED	1.0 SF	PTD. / CLAD	0.24	SAFETY GLASS
2	SEE DIAGRAM	111	W1	FIXED	16.08 SF	PTD. / CLAD	0.24	SAFETY GLASS
3	SEE DIAGRAM	111	W1	FIXED	1.0 SF	PTD. / CLAD	0.24	SAFETY GLASS
4	SEE DIAGRAM	116	W2	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
5	SEE DIAGRAM	116	W2	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
6	SEE DIAGRAM	115	W3	CASEMENT	5.1 SF	PTD. / CLAD	0.24	SAFETY GLASS
7	SEE DIAGRAM	115	W3	FIXED	9.95 SF	PTD. / CLAD	0.24	SAFETY GLASS
8	SEE DIAGRAM	115	W3	CASEMENT	5.1 SF	PTD. / CLAD	0.24	SAFETY GLASS
9	SEE DIAGRAM	114	W4	CASEMENT	5.1 SF	PTD. / CLAD	0.24	SAFETY GLASS
10	SEE DIAGRAM	114	W4	FIXED	9.95 SF	PTD. / CLAD	0.24	SAFETY GLASS
11	SEE DIAGRAM	114	W4	CASEMENT	5.1 SF	PTD. / CLAD	0.24	SAFETY GLASS
12	SEE DIAGRAM	113	W5	FIXED	5.72 SF	PTD. / CLAD	0.24	-
13	SEE DIAGRAM	113	W5	FIXED	5.72 SF	PTD. / CLAD	0.24	-
14	SEE DIAGRAM	STAIRS	W5	FIXED	5.72 SF	PTD. / CLAD	0.24	-
15	SEE DIAGRAM	STAIRS	W6	FIXED	10.98 SF	PTD. / CLAD	0.24	SAFETY GLASS
16	SEE DIAGRAM	STAIRS	W6	FIXED	10.98 SF	PTD. / CLAD	0.24	SAFETY GLASS
17	SEE DIAGRAM	STAIRS	W5	FIXED	5.72 SF	PTD. / CLAD	0.24	-
18	SEE DIAGRAM	109	W7	FIXED	7.93 SF	PTD. / CLAD	0.24	SAFETY GLASS
19	SEE DIAGRAM	109	W7	BH-FOLD	41.68 SF	PTD. / CLAD	0.24	SAFETY GLASS
20	SEE DIAGRAM	109	W7	FIXED	7.93 SF	PTD. / CLAD	0.24	SAFETY GLASS
21	SEE DIAGRAM	108	W8	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
22	SEE DIAGRAM	108	W8	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
23	SEE DIAGRAM	109	W9	FIXED	19.56 SF	PTD. / CLAD	0.24	-
24	SEE DIAGRAM	108	W10	FIXED	1.0 SF	PTD. / CLAD	0.24	SAFETY GLASS
25	SEE DIAGRAM	108	W10	FIXED	16.08 SF	PTD. / CLAD	0.24	SAFETY GLASS
26	SEE DIAGRAM	108	W10	FIXED	1.0 SF	PTD. / CLAD	0.24	SAFETY GLASS
27	SEE DIAGRAM	001	W11	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS
28	SEE DIAGRAM	001	W11	FIXED	5.24 SF	PTD. / CLAD	0.24	SAFETY GLASS

GLAZING NOTES:

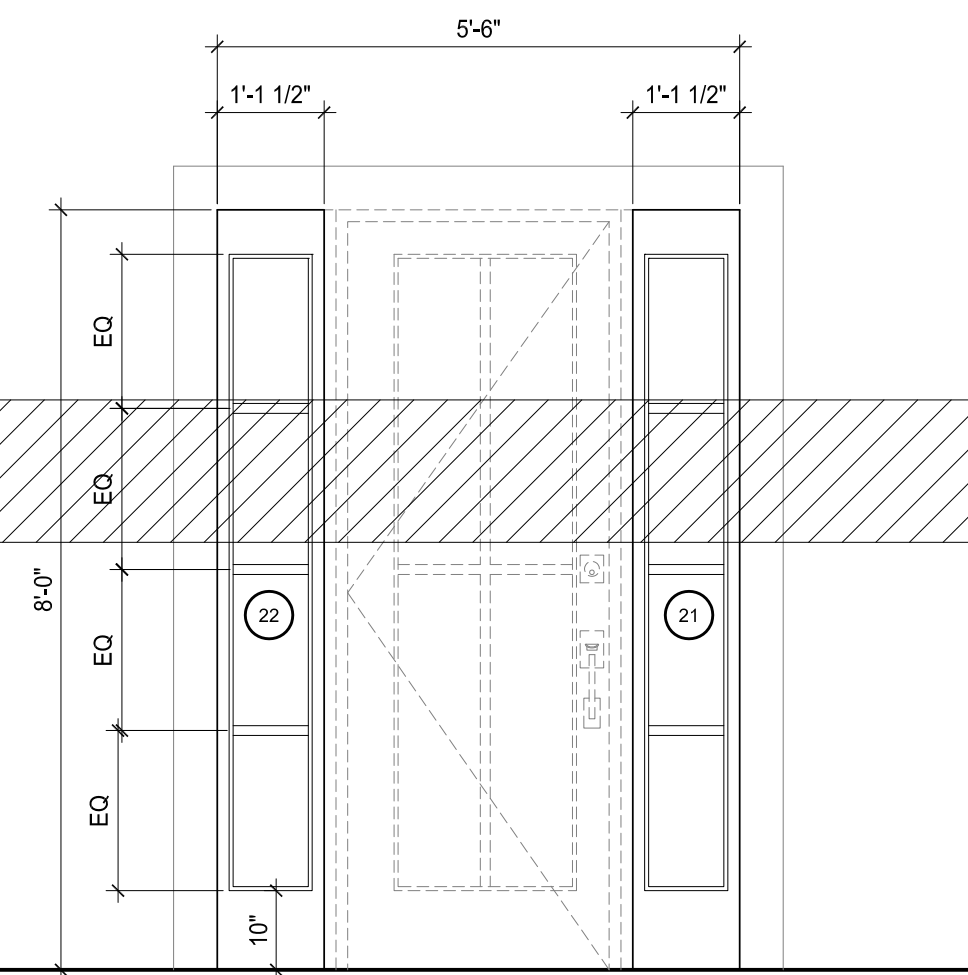
1. GLAZING SHALL BE IN ACCORDANCE WITH IRC SECTION 308
2. EXTERIOR GLAZING; ALL EXTERIOR WALL GLAZING SHALL BE DOUBLE-GLAZED AND COMPLY WITH WASHINGTON STATE ENERGY CODE (WAC 51-11)



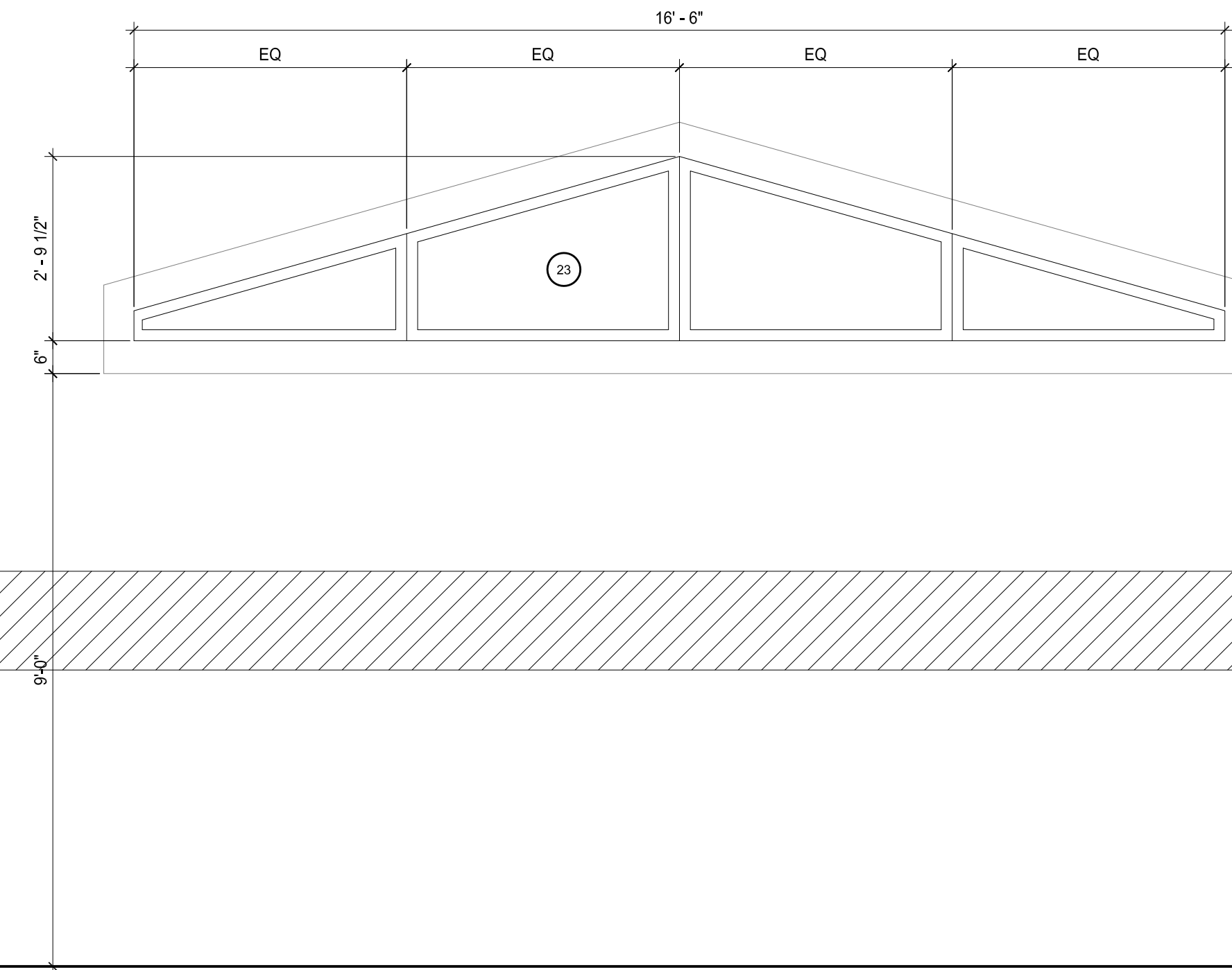
QUANTITY 2
SYMBOLS 27, 28
LOCATIONS BEDROOM
W11 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



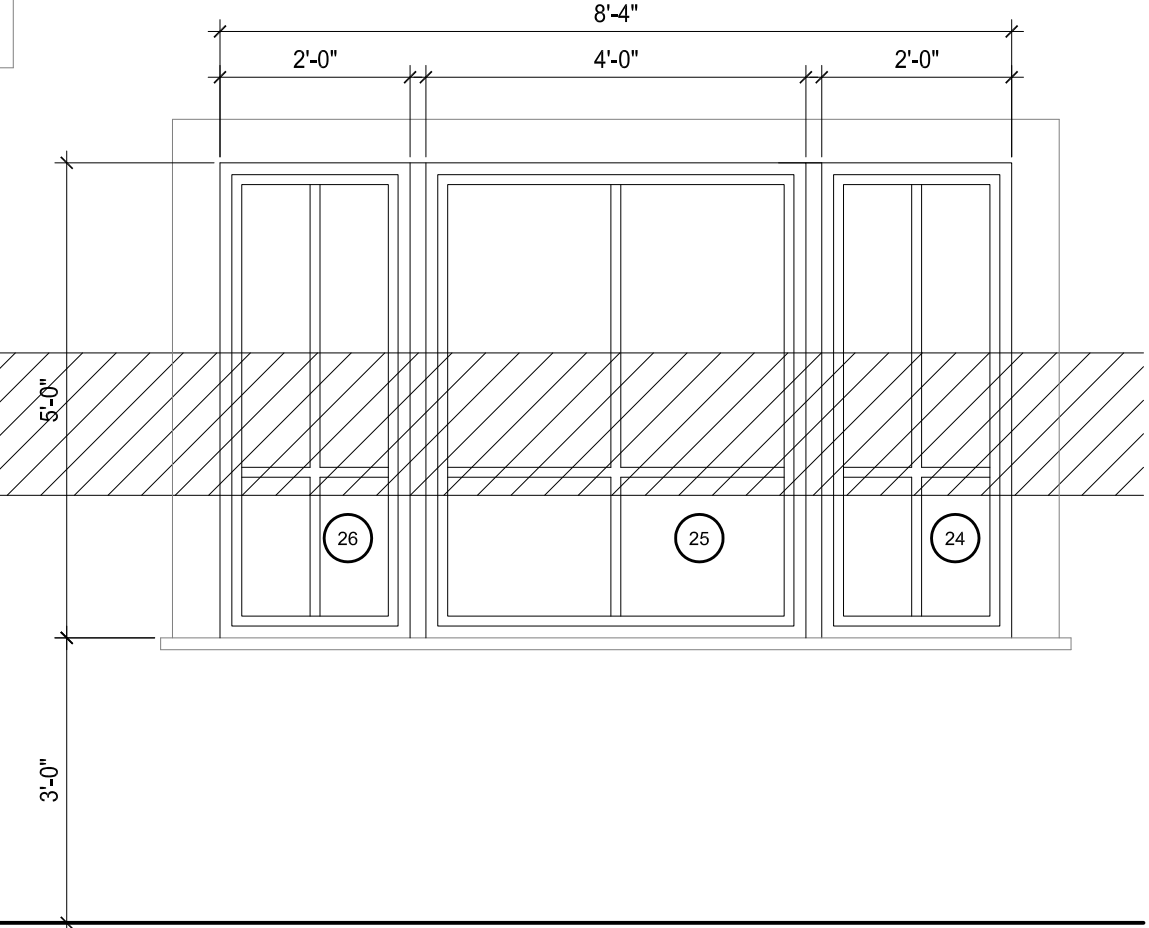
QUANTITY 1
SYMBOLS 18, 19, 20
LOCATIONS KITCHEN
W7 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



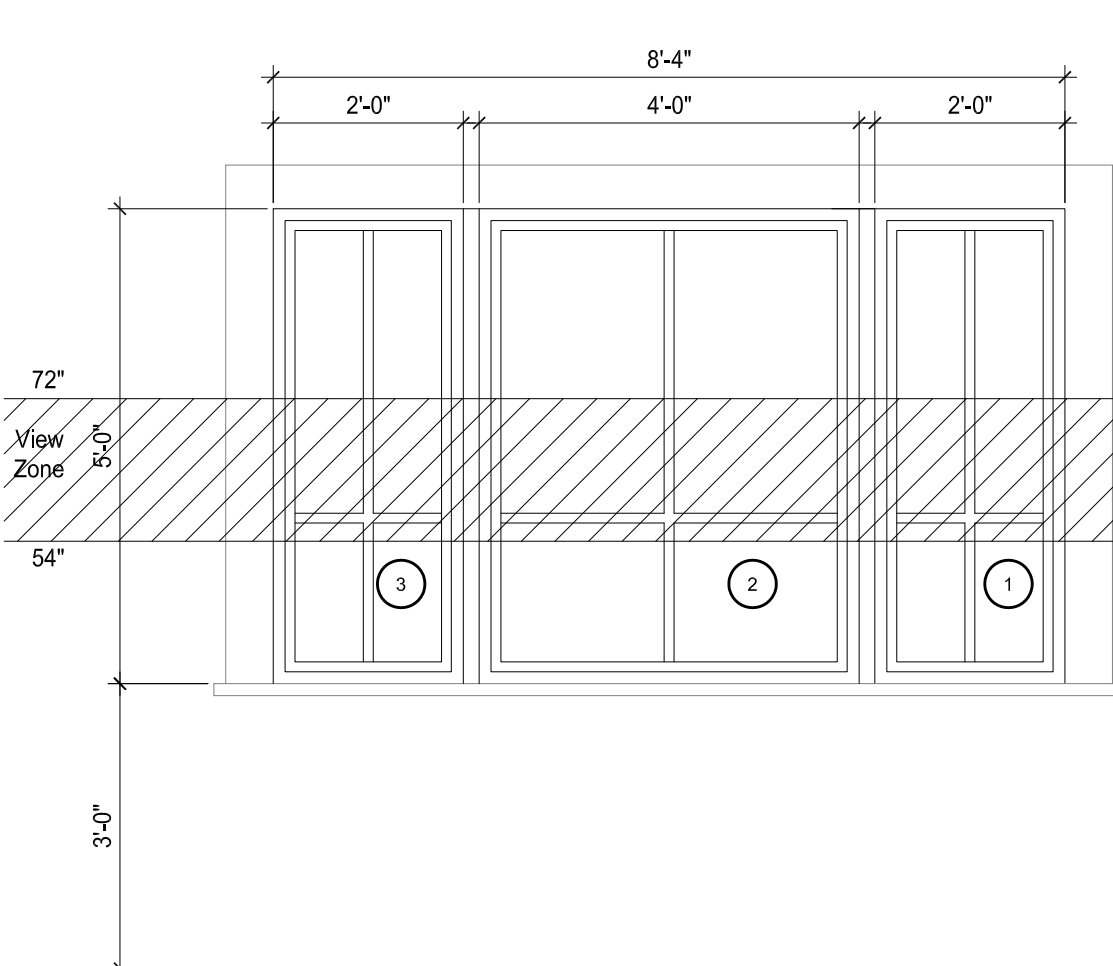
QUANTITY 1
SYMBOLS 21, 22
LOCATIONS FAMILY ROOM
W8 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



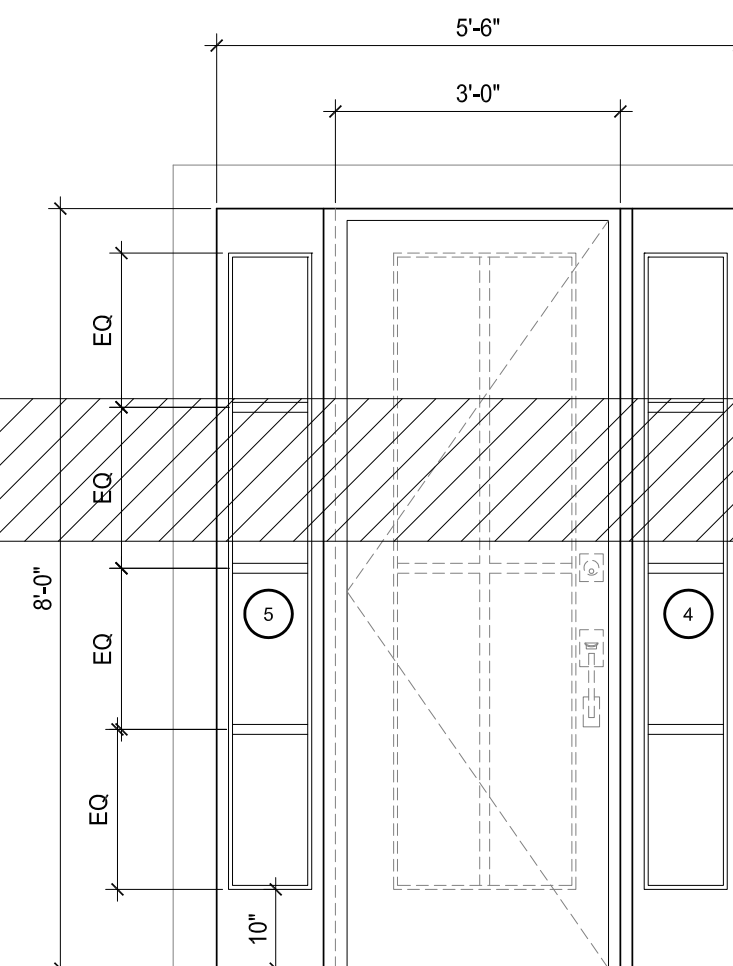
QUANTITY 1
SYMBOLS 23
LOCATIONS KITCHEN
W9 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



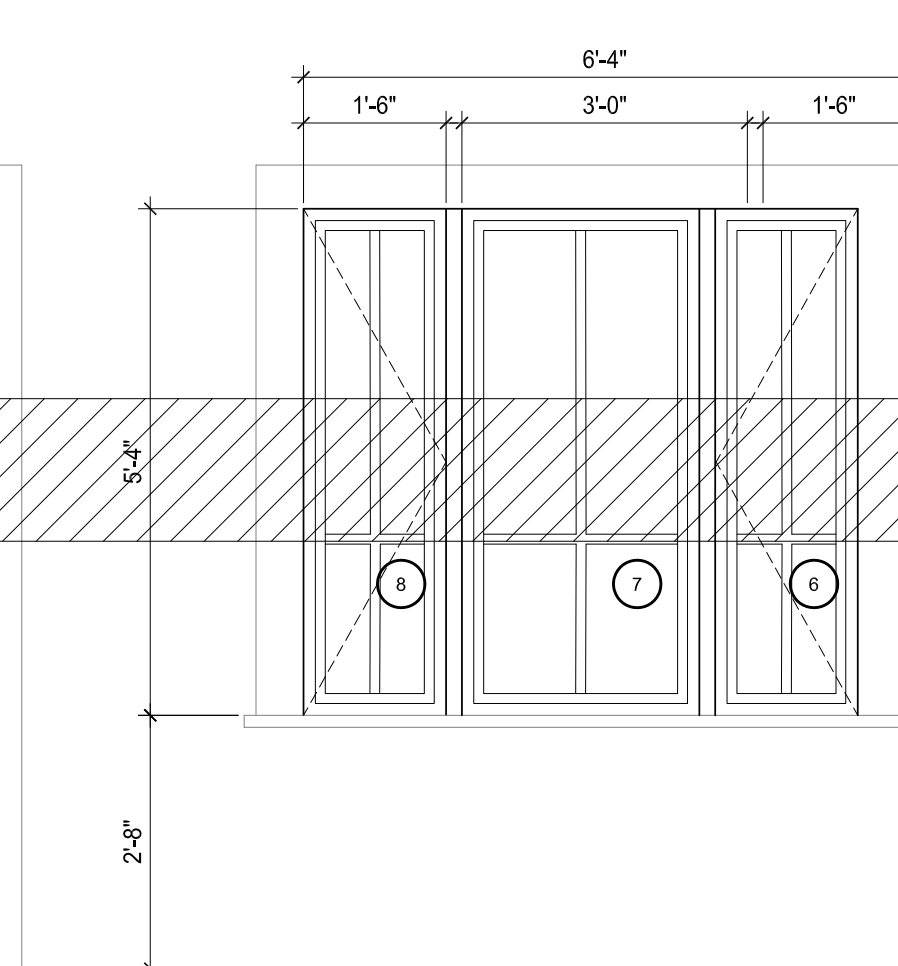
QUANTITY 1
SYMBOLS 19, 20, 21
LOCATIONS FAMILY ROOM
W10 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



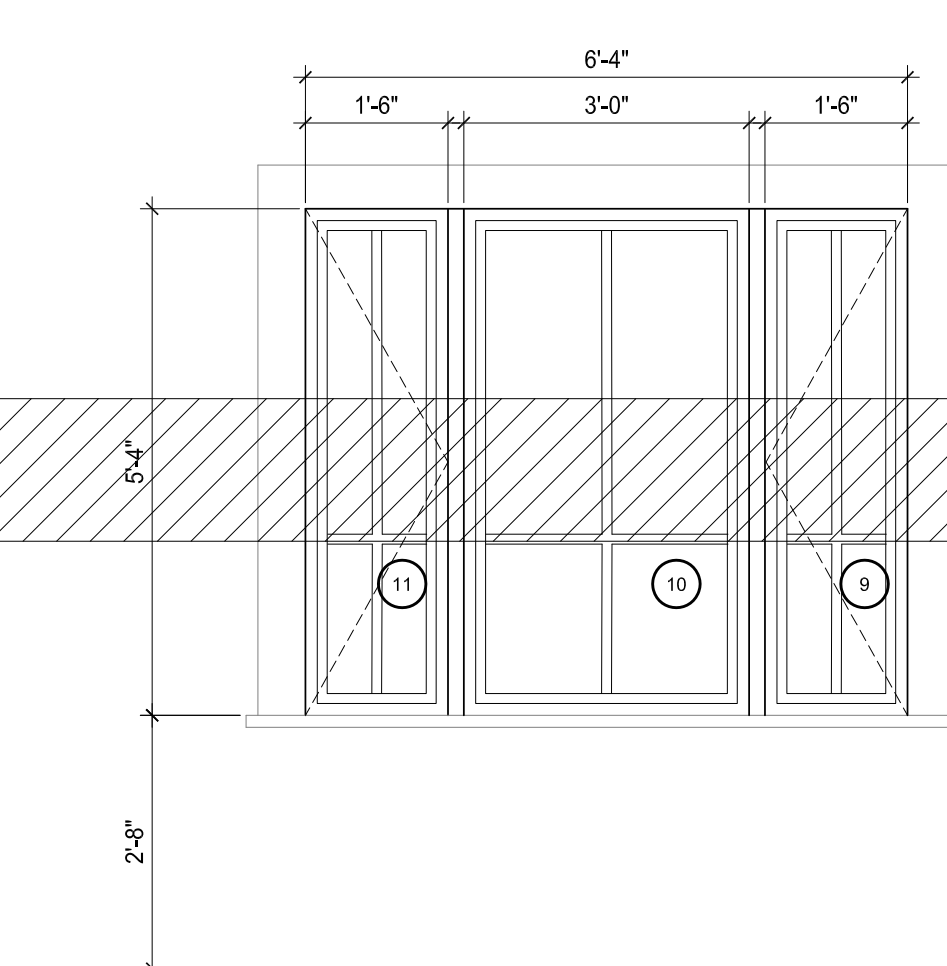
QUANTITY 1
SYMBOLS 1, 2, 3
LOCATIONS PANTRY
W1 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



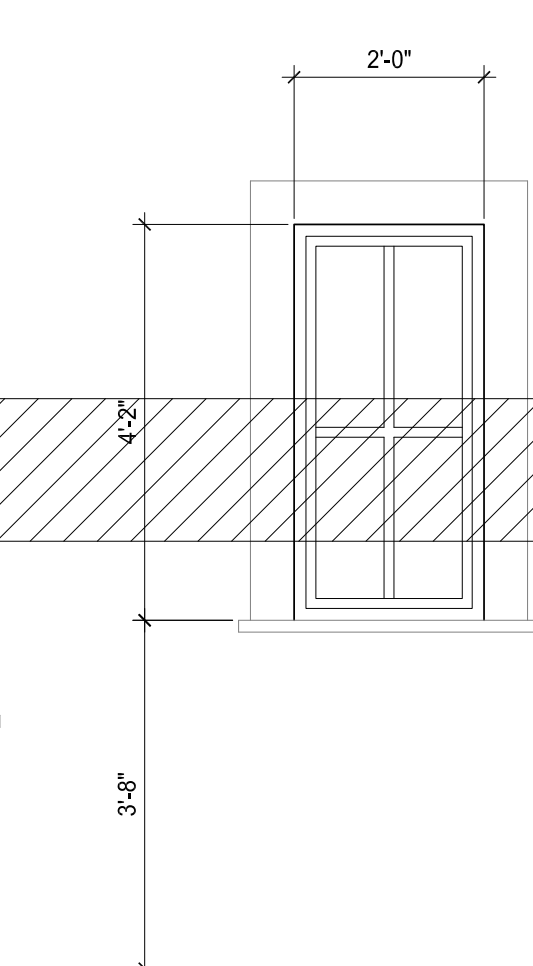
QUANTITY 1
SYMBOLS 4, 5
LOCATIONS ENTRY
W2 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



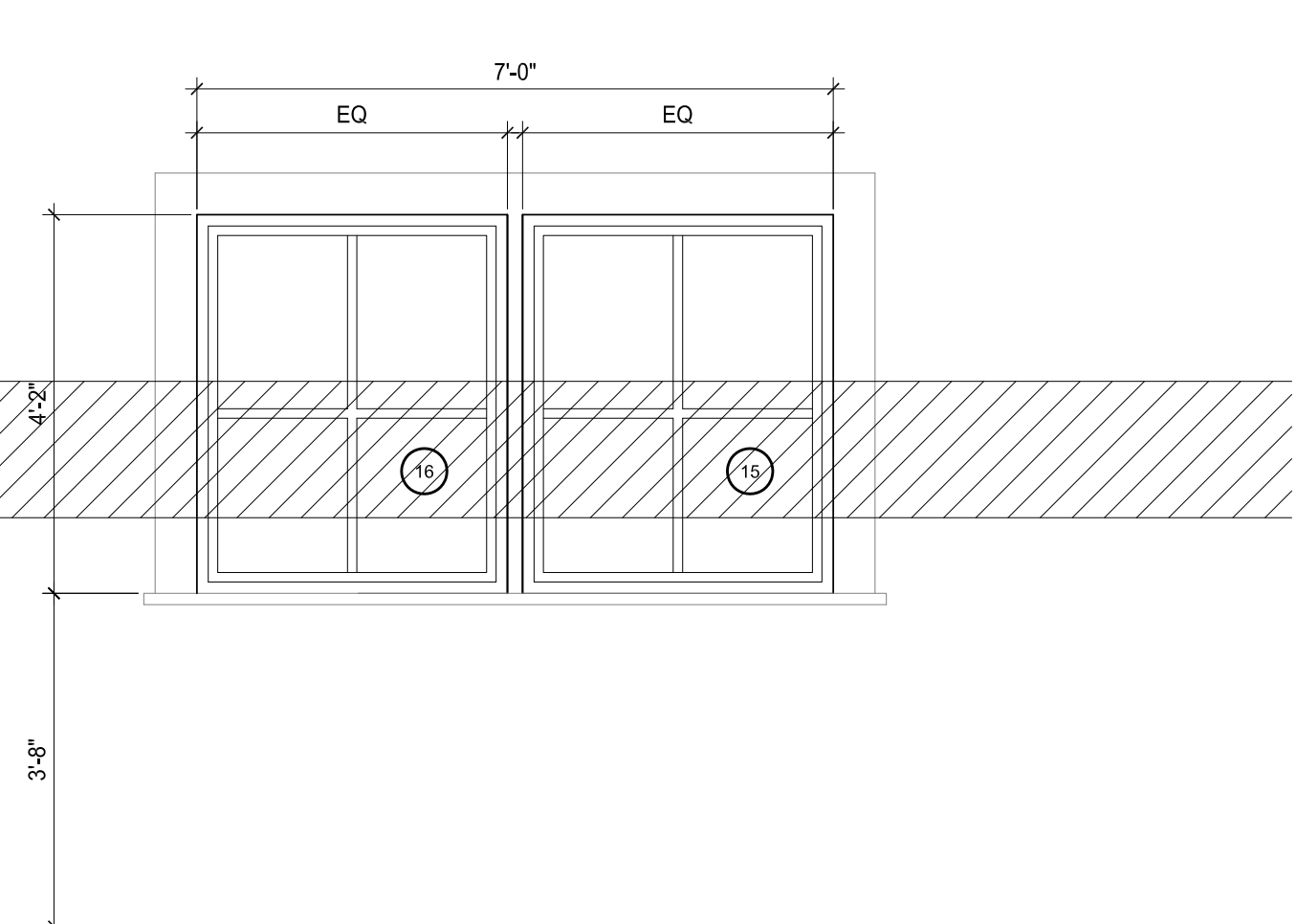
QUANTITY 1
SYMBOLS 6, 7, 8
LOCATIONS MASTER CLOSET
W3 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



QUANTITY 1
SYMBOLS 9, 10, 11
LOCATIONS MASTER BATH
W4 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



QUANTITY 4
SYMBOLS 12, 13, 14, 17
LOCATIONS MASTER BEDROOM, STAIRS
W5 WINDOW DIAGRAM
Scale 1/2" = 1'-0"



QUANTITY 1
SYMBOLS 15, 16
LOCATIONS STAIRS
W6 WINDOW DIAGRAM
Scale 1/2" = 1'-0"

All drawings, specifications, plans, ideas, arrangements, and designs represented or referred to are the property of and owned by McFadden Design LLC whether the project for which they are made is executed or not. They were created, evolved, developed and produced for the sole use on and in connection with this project and none of the above may be disclosed or given to or used by any person, firm, or corporation for any use or purpose whatsoever including any other project, except upon written permission of McFadden Design LLC.

COPYRIGHT 2023
McFADDEN DESIGN LLC

DESIGN	MM
DRAWN	MM
CHECKED	JB
SHEET ISSUE DATE	07.19.2022
DRAWING SETS	
DATE	DESCRIPTION
2023-07-12	PERMIT SET
REVISIONS	



1914 5th st.
Kirkland, WA 98003

WWW.MCFADDENDESIGN.COM

ADAMS RESIDENCE

8035 SE 45TH ST
MERCER ISLAND 98040

WINDOW DIAGRAMS
& SCHEDULE

A-6.1

